



Plantation Acres Improvement District

Broward County Florida

1701 NW 112th Avenue, Plantation, FL 33323

AGENDA

January 25, 2024

Call to Order 7:00 P.M.

Pledge of Allegiance

Invocation

Roll Call

Approval of Attendance of Commissioners by Social Media or Telephone

Approval of Minutes

Public Comment

Staff Reports

I. Administrator's Report

A. Approval of the December 2023 Expenses in the Amount of \$119,247.63

B. Approval of the Credit Card Report for the period 11/9/2023 thru 12/8/2023 in the amount of \$2,512.40

C. Approval of the Credit Card Report for the period 12/9/2023 thru 1/8/2024 in the amount of \$1,731.54

II. Attorney's Report

A. Draft Agreement for HR Services

III. Engineer's Report

A. CONSENT ITEMS

None

B. QUASI-JUDICIAL ITEMS

The items in this section are quasi-judicial in nature. If you wish to object or comment upon any of these items, you must be sworn before addressing the Board of Commissioners, and if you wish to address the Board, you may be subject to cross-examination. If you refuse to submit to cross-examination, the Board of Commissioners will not consider what you have said in its final deliberations.

B1. L'Reserve Residences at Plantation (C9602.01) Paving & Drainage Plan Approval

C. BOARD ACTION ITEMS

C1. 12050 NW 18th CT Right-of-Way Vacation (R2401.01). Approval

D. DISCUSSION ITEMS

D1. Pump Stations Improvements (D1707.01) Update

D2. Portable Auxiliary Pump (D2312.01) Update

D3. Offsite Improvements for N. Acres Park (D2308.03). Update

D4. SW 118th Ave. Drainage Improvements (D2308.04-2) Update

D5. NW 12th St & NW 122nd Ave Drainage Improvements (D2308.05) Update

D6. Master Drainage Improvements (D2301.01). Update

D7. Permit Activity (D9408.02 & D9408.03). Summary

D8. Violation Activity (D9611.01) Summary

IV. District Manager's Agenda

Old Business

New Business

Commissioner Comments

Adjournment

Notice is hereby given to all interested parties that if any person should decide to appeal any decision made at the forthcoming meeting of the Board of Commissioners, such person will need a record of the proceedings conducted at such meeting, and for such purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which any appeal may be based. Persons with disabilities requiring accommodations in order to participate should contact the District Office at (954) 474-3092 at least 48 hours in advance to request such accommodations.

INDEPENDENT CONTRACTOR AGREEMENT

This Independent Contractor Agreement (the “Agreement”) is entered into on _____ (the Effective Date), between the Plantation Acres Improvement District, a Florida independent special district, herein referred to as the “District,” and Véronica Niemtschik, herein referred to as “Contractor.”

RECITALS

1. Contractor is duly qualified to and has expertise in human resources management.
2. Contractor and the District agree that it is to their mutual advantage to have Contractor provide consulting and administrative services to the District as it pertains to the efficiency, processes, and operations in the areas of human resources and related services for the District.

AGREEMENT

- A. DESCRIPTION OF WORK:** Contractor agrees to provide the District with consulting and administrative services pertaining to the management, processes, efficiency, and operation of the District’s human resources department. Contractor agrees to advise, consult, and provide administrative services to the District on an “as needed” basis. The services to be provided are described in the Scope of Services attached hereto as Exhibit “A.” The Scope of Services shall also be deemed to include providing all goods and performing all actions necessary to complete the services Contractor has been hired to provide, whether specifically included in the attached Scope of Services or not. Contractor will perform its services to the highest professional standards customarily accepted within Contractor’s field. In Contractor’s performance of its services hereunder, Contractor is not required to maintain any specified daily or weekly schedule, and is not required to meet any quotas. However, Contractor must ensure that she is available to provide consulting services to the District promptly. Contractor may be invited to attend periodic meetings held to provide informational updates regarding projects.
- B. LICENSES AND CERTIFICATIONS:** Contractor ensures that she or her employees, representatives or agents will, at all times during the term of this Agreement, maintain any and all approvals, licenses, and/or certifications required to provide consulting and administrative services, and shall furnish copies of such documents to the District. Contractor shall immediately notify the District if any approvals, licenses, or certifications are restricted, revoked or limited in any way during the term of this Agreement. Contractor further agrees that at all times, it will comply with any and all applicable laws, rules, regulations and/or ordinances when performing the services and duties contemplated under this Agreement.

C. PAYMENT: In consideration for the releases and indemnities contained herein and Contractor's provision of services, Contractor shall charge the District (through the District's billing process) for services performed pursuant to this Agreement at a rate of [REDACTED] per hour. Contractor agrees to use independent discretion in providing consulting services to the District. Contractor shall be fully and solely responsible for any and all expenses incurred by her in performance of her duties hereunder.

Contractor shall submit invoices for services rendered to the District as necessary. Upon receipt of a proper invoice, the District will process payments within thirty (30) days after receipt of an invoice for services rendered on behalf of the District.

D. USE OF EQUIPMENT: Contractor shall be solely responsible for providing any other supplies or materials needed to perform the services set forth in this Agreement. The District will not reimburse Contractor for any expenses that Contractor incurs pursuant to this Agreement. Specialty tools and equipment costs required for performance of duties shall be reimbursed based on submitted invoices from Contractor.

E. RELATIONSHIP OF PARTIES: This Agreement creates an independent contractor-District relationship. The District will not supervise the work of Contractor. The District is interested only in the results achieved. Contractor is solely responsible for the manner and method by which it provides the services contemplated under this Agreement, and exercises exclusive discretion in this regard. Contractor is also solely responsible for the conduct and control of its employees, representatives or agents, and the work performed by those individuals. During the term of this Agreement, Contractor will report to the District Manager, or designee, who will act as the liaison between Contractor and the District. Contractor is not an agent of the District for any purpose. Neither Contractor nor her employees, agents or subcontractors is entitled to any benefits that the District provides its employees, specifically including, but not limited to, sick leave, vacation, workers' compensation or any other insurance coverage. Where required by law, Contractor shall be solely liable for the compensation of its employees, agents or subcontractors (if any), for maintaining workers' compensation and unemployment compensation coverage for its employees, agents or subcontractors and for filing all applicable returns. Contractor shall be solely responsible for withholding and paying any and all Federal, State, and local taxes, Social Security payments, and any other applicable deductions, taxes, or payments, including, but not limited to, unemployment and other payroll taxes. This is not an exclusive agreement. Contractor is free to contract with other parties for similar services.

F. LIABILITY: Contractor assumes all risk connected with the work performed pursuant to this Agreement. Contractor shall be fully and solely responsible for providing, at its own cost and expense, any and all equipment that is required in the performance of its duties hereunder. Contractor also accepts all responsibility for the condition of tools

and equipment used in the performance of this Agreement, whether or not provided by Contractor.

Contractor shall protect, defend, indemnify, and hold harmless the District and its officials, officers, members, agents, representatives and employees from any and all claims, liabilities, expenses, or damages of any nature, including attorney fees, for injury to or death of any person, and for injury to any property arising out of or in any way connected with the performance or non-performance of any provision of this Agreement required of Contractor, or on behalf of Contractor, or resulting from any errors, omissions, misconduct, negligent acts of Contractor or its employees, agents, officials or subcontractors or violation by Contractor or its employees, agents, officials or subcontractors of any statute, law, ordinance, regulation on account of the performance or non-performance of any provision of this Agreement. Contractor agrees to indemnify and hold harmless the District against any loss, claim, liability, or cost of any kind whatsoever, arising from Contractor's failure to maintain workers' compensation coverage, to file any returns and pay taxes, or to pay his/her employees in accordance with federal, state and local laws.

Contractor further releases the District, and its officers, agents, employees, agents, servants, representatives, and volunteers from any and all suits, liability, claims or judgment of any kind, including attorneys' fees, and including without limitation, any claims by third parties, in any way concerning, relating to, arising out of, or in any manner connected with, any first aid treatment or lack thereof, or any Services rendered or lack thereof, for injuries or illnesses, during participation in any activities contemplated by this Agreement.

Nothing in this Agreement shall be deemed or treated as a waiver by the District of any immunity to which it is entitled by law, including but not limited to the District's sovereign immunity as set forth in Section 768.28, Florida Statutes.

Contractor shall provide the District with a certificate of insurance showing evidence of professional liability coverage with a combined single limit of not less than \$1,000,000 per occurrence, including the District as additional insured. Upon execution of this Agreement, Contractor shall deliver to the District a certificate of insurance evidencing the above coverage. Insurance shall be primary and non-contributory over any other insurance that may be available to an Indemnified Party. A waiver of subrogation shall apply in favor of the District. Insurance limits specified herein are minimums. Insurance coverage shall apply to the fullest extent of Contractor's insurance policy limits, or to the extent allowed by law, whichever is greater. Should the above described policy(ies) be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.

G. DURATION: Either party may terminate this Agreement for any reason with 30 days written notice. The District may terminate this Agreement immediately if Contractor breaches its obligations under this Agreement or engages in conduct which is immoral, illegal or which the District deems to adversely affect the reputation of the District. If

not earlier terminated, the Agreement shall remain in force commencing on February 1, 2024 through January 30, 2025. The parties may agree to renew this Agreement for additional terms, subject to the execution of a written amendment to this Agreement, signed by both parties.

In the event of termination by the District, Contactor shall not be entitled to any damages and shall not be entitled to any compensation other than that earned prior to notification by the District that this Agreement has been terminated.

- H. NO AUTHORITY TO BIND:** Contactor shall have no authority to contract for or legally bind the District with respect to any matter, including but not limited to the subject matter of the Agreement.
- I. NO ASSIGNMENT:** Contactor shall not, under any circumstances, assign this Agreement or its rights or duties hereunder without prior written authorization from the District. Should such authorization be granted, Contactor agrees to inform any subcontractors of all the stipulations of this Agreement.
- J. NOTICE:** Whenever either party desires to give notice to the other, it shall be given by written notice and will be deemed given when personally delivered, faxed or seventy-two (72) hours after sent via certified United States mail postage prepaid, return receipt requested.
- K. AUDIT AND INSPECTION RIGHTS:** The District may, at reasonable times, and for a period of up to three (3) years following the date that final payment under this Agreement is made, audit, or cause to be audited, those books and records of Contactor that are related to Contactor's performance under this Agreement. Contactor agrees to maintain all such books and records at its principal place of business for a period of three (3) years after final payment is made under this Agreement.
- L.** This Agreement shall be subject to Florida's Public Records Laws, Chapter 119, Florida Statutes. Contactor understands the broad nature of these laws and agrees to comply with Florida's public records laws and laws relating to records retention. In compliance with section 119.0701, Florida Statutes, Contactor agrees to:
 - 1. Contactor agrees to keep and maintain public records in Contactor's possession or control in connection with Contactor's performance under this Agreement. Contactor additionally agrees to comply specifically with the provisions of Section 119.0701, Florida Statutes.
 - 2. Contactor shall ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed, except as authorized by law, for the duration of the Agreement, and following completion of the Agreement until the records are transferred to PAID.
 - 3. Upon request from PAID's custodian of public records, Contactor shall provide PAID with a copy of the requested records or allow the records to be inspected or

- copied within a reasonable time at a cost that does not exceed the cost provided by Chapter 119, Florida Statutes, or as otherwise provided by law.
4. Unless otherwise provided by law, any and all records, including but not limited to reports, surveys, and other data and documents provided or created in connection with this Agreement are and shall remain the property of PAID.
 5. Upon completion of this Agreement, transfer, at no cost, to the PAID all public records in possession of Contractor or keep and maintain public records required by PAID to perform the service. If Contractor transfers all public records to PAID upon completion of this Agreement, Contractor shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If Contractor keeps and maintains public records upon completion of this Agreement, Contractor shall meet all applicable requirements for retaining public records. All records stored electronically by Contractor shall be delivered to PAID, upon request from the PAID's Custodian of Records, in a format that is compatible with the PAID's information technology systems.
 6. Any compensation due to Contractor shall be withheld until all records are received as provided herein.
 7. Contractor's failure or refusal to comply with the provisions of this section shall result in the immediate termination of this Agreement by PAID.

IF CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS.

Custodian of Records: Robert Andrews
Mailing address: 6464 NW 5th Way
Fort Lauderdale, FL 33309
Telephone number: (954) 474-3092
Email: robert@associationfm.com

M. NON DISCRIMINATION POLICY: Contractor represents and warrants to the District that Contractor does not and will not engage in discriminatory practices and that there shall be no discrimination in connection with Contractor's performance of Services under this Agreement on account of race, age, religion, color, gender, national origin, marital status, physical or mental disability, political affiliation or any other factor which cannot be lawfully used as a basis for delivery of service. Contractor further covenants that no otherwise qualified individual shall, solely by reason of his or her race, age, religion, color, gender, national origin, marital status, physical or mental disability, political affiliation or any other factor which cannot be lawfully used

as a basis for delivery of service, be excluded from participation in, be denied service, or be subject to discrimination under any provision of this Agreement.

- N. CHOICE OF LAW AND JURY TRIAL WAIVER:** This Agreement and all related matters shall be governed by, construed, and enforced in accordance with the laws of the State of Florida. **Contractor and the District agree to waive any right to a trial by jury in any litigation over this Agreement or any supplement thereto, including any litigation arising out of Contractor's independent contractor status.** The Parties agree that any litigation related to Contractor's services or to enforce this Agreement shall proceed in the Seventeenth Circuit Court in and for Broward County, Florida or any other court of competent jurisdiction in Broward County, Florida.
- O. SURVIVAL:** All representations and other relevant provisions of this Agreement shall survive and thereby continue in full force and effect, notwithstanding any termination or expiration of this Agreement under paragraph G or otherwise. If any provision of this Agreement or the application thereof to any person or situation shall to any extent, be held invalid or unenforceable, the remainder of this Agreement, and the application of such provisions to persons or situations other than those as to which it shall have been held invalid or unenforceable shall not be affected thereby, and shall continue in full force and effect, and be enforced to the fullest extent permitted by law.
- P. ENTIRE AGREEMENT:** This Agreement constitutes the entire understanding and agreement of the parties, and shall not be altered, modified, or amended unless such alteration, modification, or amendment is set forth in writing and signed by the parties.
- Q. ATTORNEY'S FEES:** In the event that any of the parties institutes any action or proceeding against the other party (including such affiliates) relating to this Agreement, the prevailing party shall be entitled to reimbursement for all costs and expenses incurred in connection therewith, including payment of all reasonable attorney's fees and costs through all appellate levels.
- R. LEGAL REVIEW:** Each party acknowledges that it has carefully read all of the terms of this Agreement, has had ample opportunity to consult with legal counsel if so desired concerning the terms of this Agreement, and fully understands the consequences of the Agreement terms.
- S. HEADINGS:** Headings are for convenience of reference only and shall not be considered in any interpretation of this Agreement. In the event of conflict between the terms of this Agreement and any terms or conditions contained in any attached documents, the terms in this Agreement shall prevail.
- T. NON-WAIVER:** No waiver or breach of any provision of this Agreement shall constitute a waiver of any subsequent breach of the same or any other provision, and no waiver shall be effective unless made in writing.

By:

Stephen Nieset, Chair

Véronica Niemtschik, Contractor

Date Signed: _____

Date Signed: _____

DRAFT

EXHIBIT A

Scope of Services

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: B1

Action Required: Board Approval (Quasi-Judicial)

Item Description: L'Reserve Residences at Plantation
Paving & Drainage Plan

P.A.I.D. Number: C9602.01

Attachments: Construction Plan (11" x 17" reduced copy)
Permit Application

Summary: This item is for the approval of the paving, grading and drainage plan serving the improvement planned for the property at 11450 W. Broward Blvd. The plan involves construction of a 4 townhome units. The system will be directly connected to the C1 Canal.

The paving, grading and drainage plan meets the criteria of the District.

Recommendation: APPROVE

Comments: Approval is in effect for 6 months. A permit will be issued within 6 months providing security requirements have been met.

Prepared by: CJF Date: 1/18/24

L'RESERVE RESIDENCES 11400 W. BROWARD BLVD.

SITE DEVELOPMENT PLANS
CITY OF PLANTATION, BROWARD COUNTY, FLORIDA

OWNER / DEVELOPER:

LOUIMA PROPERTIES, INC.
3998 NW 73RD WAY
CORAL SPRINGS, FL 33067

ENGINEER:

PILLAR CONSULTANTS, INC.
5230 S. UNIVERSITY DRIVE, SUITE 104
DAVIE, FL 33328
TEL: (954)680-6533

ARCHITECT

GLOBAL GUARANTEED GOODS & SERVICES INC.
29002 ALESSANDRIA CIR.
BONITA SPRINGS, FL 34135
TEL: (9239)405-5159

LANDSCAPE DESIGNER:

MLA LANDSCAPE ARCHITECTURE
1016 NE 45TH STREET
OAKLAND PARK, FL 33334
TEL: (954)763-4071

LAND DESCRIPTION

LEGAL DESCRIPTION:

THE WEST 112.04 FEET OF TRACT 52, IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 40 EAST, FLORIDA FRUIT LANDS COMPANY SUBDIVISION NO. 1, AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN THE TOWN OF DAVIE, BROWARD COUNTY, FLORIDA, LESS AND EXCEPT:

ALL THAT PORTION OF THE WEST 112.04 FEET OF TRACT 52, FLORIDA FRUIT LANDS COMPANY SUBDIVISION NO. 1, SECTION 1, TOWNSHIP 50 SOUTH, RANGE 40 EAST, AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LYING WITHIN 50.00 FEET OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT 52, SAID CORNER ALSO BEING THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 1,909.86 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 488.67 FEET, TO A POINT OF TANGENCY; THENCE CONTINUE ALONG THE TANGENT PRODUCED AS DISTANCE OF 300.00 FEET, TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 1,909.86 FEET, THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 488.67 FEET, TO A POINT OF TANGENCY; THENCE CONTINUE ALONG THE TANGENT PRODUCED TO A POINT OF INTERSECTION WITH THE EAST BOUNDARY OF SECTION 1, TOWNSHIP 50 SOUTH, RANGE 40 EAST, LESS ANY PREVIOUSLY DEEDED OR DEDICATED RIGHTS OF WAY.

LOCATION MAP

NOT TO SCALE

SECTION 01, TOWNSHIP 50 SOUTH, RANGE 40 EAST



SHEET INDEX:

- CS-1 COVER SHEET
- 1 OF 1 BOUNDARY/TOPO SURVEY
- C-1 PAVING, GRADING AND DRAINAGE PLAN
- C-2 ENGINEERING DETAILS
- C-3 WATER & SEWER PLAN
- C-4 WATER & SEWER DETAILS
- ER-1 EROSION CONTROL / STORM-WATER POLLUTION PREVENTION PLAN

PROJECT INFORMATION

CURRENT USE: VACANT LOT
ZONING: PRD-6.3Q - RESIDENTIAL

PURPOSE/USE: TOWNHOMES
ZONING: RPRD-6.3Q - RESIDENTIAL

CHARACTER OF DEVELOPMENT: THE DEVELOPER'S INTENT IS TO BUILD A BUILDING WITH 4 TOWNHOMES WITH ASSOCIATED PARKING

PROPERTY LOCATION: 11400 W. BROWARD BLVD, PLANTATION, FLORIDA

AVAILABILITY OF UTILITY SERVICES: MUNICIPAL POTABLE WATER AND WASTEWATER SERVICES WILL BE SUPPLIED BY THE CITY OF PLANTATION.

FOLIO NUMBER:
5040011C0010

ENGINEER'S SEAL
NOT VALID WITHOUT
ORIGINAL SIGNATURE



SHEET	TITLE
CS-1	COVER SHEET

REVISIONS

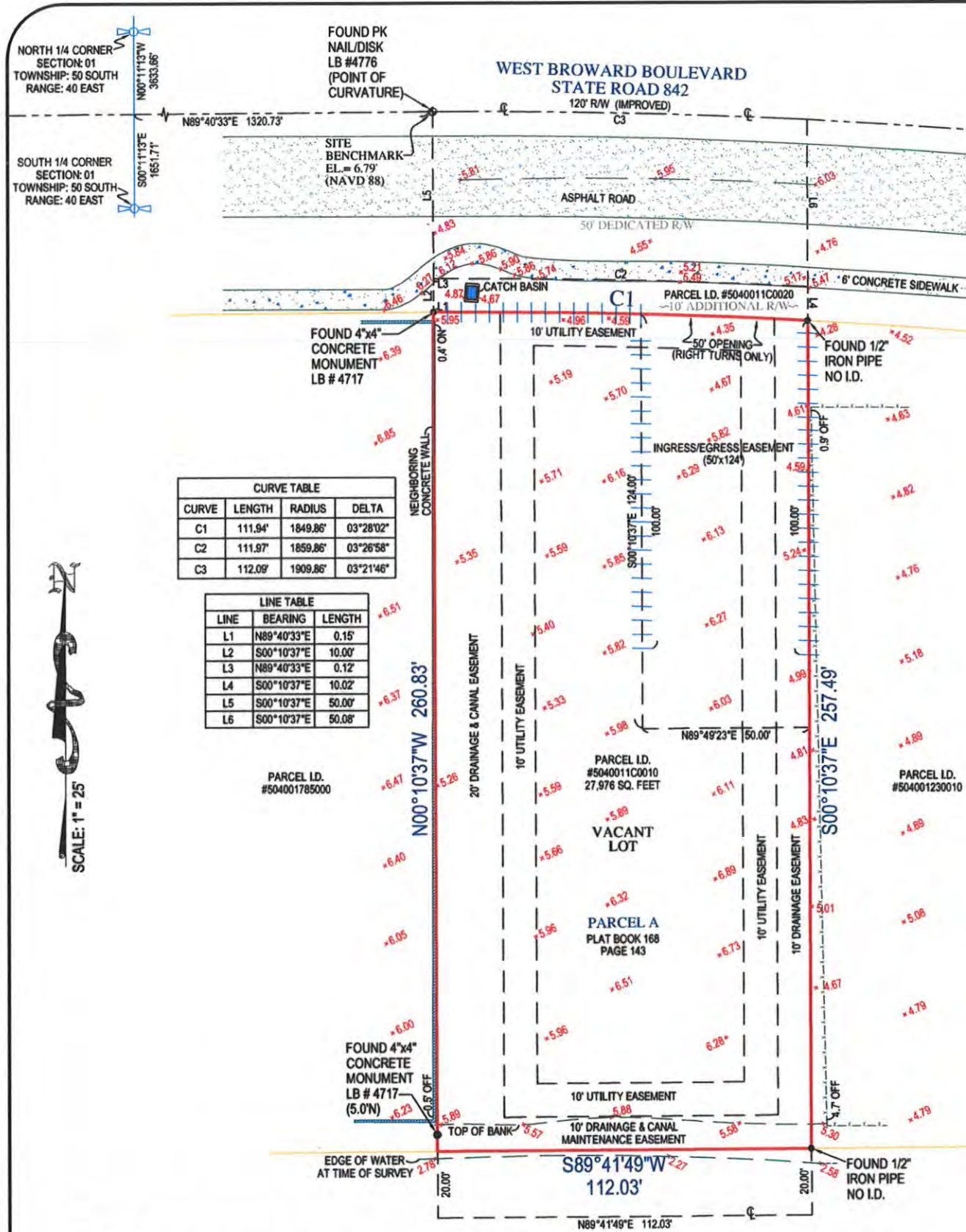
09/08/23 - PAID
COMMENTS

PILLAR CONSULTANTS, INC.
Consulting Engineers, Planners, Surveyors
5230 S. University Drive - Suite 104
Davie, Florida 33328
Phone: (954) 680-6533

P.E. # 70946

**L'RESERVE RESIDENCES
11400 W. BROWARD BLVD.**
CITY OF PLANTATION
BROWARD COUNTY, FLORIDA

SCALE: N.T.S.
DATE: 11/30/22
DRAWN BY: AAG
SHEET No.
CS-1
22007



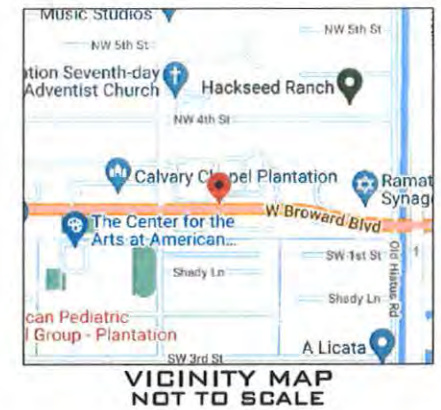
CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	111.94'	1849.86'	03°28'02"
C2	111.97'	1859.86'	03°26'58"
C3	112.09'	1909.86'	03°21'46"

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°40'33"E	0.15'
L2	S00°10'37"E	10.00'
L3	N89°40'33"E	0.12'
L4	S00°10'37"E	10.02'
L5	S00°10'37"E	50.00'
L6	S00°10'37"E	50.08'

SCALE: 1" = 25'

- NOTES:**
- LEGAL DESCRIPTION PROVIDED BY CLIENT.
 - NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE.
 - NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY.
 - ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED.
 - SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
 - THE BEARINGS SHOWN HEREON ARE BASED UPON THE SOUTH PROPERTY LINE, HAVING A BEARING OF S89°41'49"W.

Flood Zone: AH
 Community Number: 120054
 Panel: 12011C0535
 Suffix: H
 Base Flood Elevation: 6'
 FIRM Date: 08-18-2014
 FIRM Effect./Rev Date: 08-18-2014



LEGAL DESCRIPTION

The West 112.04 feet of Tract 52, in Section 1, Township 50 South, Range 40 East, FLORIDA FRUIT LANDS COMPANY SUBDIVISION NO. 1, as recorded in Plat Book 2, Page 17, of the Public Records of Dade County, Florida, said lands situate, lying and being in Broward County, Florida, LESS AND EXCEPT: All that portion of the West 112.04 feet of Tract 52, FLORIDA FRUIT LANDS COMPANY SUBDIVISION NO. 1, Section 1 Township 50 South, Range 40 East, as recorded in Plat Book 2, Page 17, of the Public Records of Dade County, Florida, lying within 50.00 feet of the following described centerline: Beginning at the Northwest corner of said Tract 52, said corner also being the Point of Curvature of a Circular Curve to the right, having a radius of 1,909.86 feet; thence run Easterly along the arc of said curve, a distance of 488.67 feet, to a Point of Tangency; thence continue along the tangent produced as distance of 300.0 feet, to a Point of Curvature of a Circular Curve to the left, having a radius of 1,909.86 feet; thence run Easterly along the arc of said Curve, a distance of 488.67 feet, to a Point of Tangency; thence continue along the tangent produced to a Point of Intersection with the East boundary of Section 1, Township 50 South, Range 40 East, LESS any previously deeded or dedicated rights of way.

ORIGINAL FIELD WORK COMPLETED BY
 TARGET SURVEYING, LLC.
 SURVEY #: 461513 DATED: 02-04-2021

ORIGINATION BENCHMARK
 BROWARD COUNTY
 BENCHMARK "BC 83A"
 N.A.V.D. 88 ELEVATION = 11.03'

DATE OF FIELD WORK: 04-09-2021
 DATE OF MAP: 04-18-2021

REVISIONS:
 1.) ADDED ADDITIONAL TOPOGRAPHY... 05-22-2023

LEGEND

A/C	AIR CONDITIONER
B.C.P.	BACKLAP PREVENTER
C.B.S.	CONCRETE BLOCK STRUCTURE
E.L.	ELEVATION
F.F.	FINISHED FLOOR
I.D.	IDENTIFICATION
L.	LENGTH
L.B.	LICENSED BUSINESS
M.	MEASURED
N.T.S.	NOT TO SCALE
N&D	NAIL & DISC
N.A.V.D. 88	NORTH AMERICAN VERTICAL DATUM 1988
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
O.R.B.	OFFICIAL RECORDS BOOK
P	PLAT
PSM	PROFESSIONAL SURVEYOR AND MAPPER
P.R.M.	PERMANENT REFERENCE MONUMENT
P.S.	PAGE
P.B.	PLAT BOOK
PK	PARKER KYLON NAIL
R	RADIUS
R.W.	RIGHT-OF-WAY
TAN	TANGENT
T.B.M.	TEMPORARY BENCH MARK
C & L	CENTERLINE
#	AND
	NUMBER
	DELTA OR CENTRAL ANGLE
	CONCRETE
	CHAIN LINK FENCE
	WOOD FENCE
	NON-VEHICULAR ACCESS LINE
	TOPOGRAPHIC ELEVATION

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
 KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

BOUNDARY AND TOPOGRAPHIC SURVEY OF:
11450 WEST BROWARD BOULEVARD
PLANTATION, FL 33325
 PREPARED FOR:
HAYTHAM MAHMOUD

Project	C-474075	Sheet	1 of 1
Date	04-09-2021		
Scale	1" = 25'		

62.50 N. MILITARY TRAIL
 SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE: 561.640.4800
 FAX: 561.640.0576

COMPASS SURVEYING
 WWW.COMPASSSURVEYING.NET

LB #7463

REVISIONS	
09/08/23	- PAID COMMENTS
12/13/23	- PAID COMMENTS



LOCATION MAP
N.T.S.

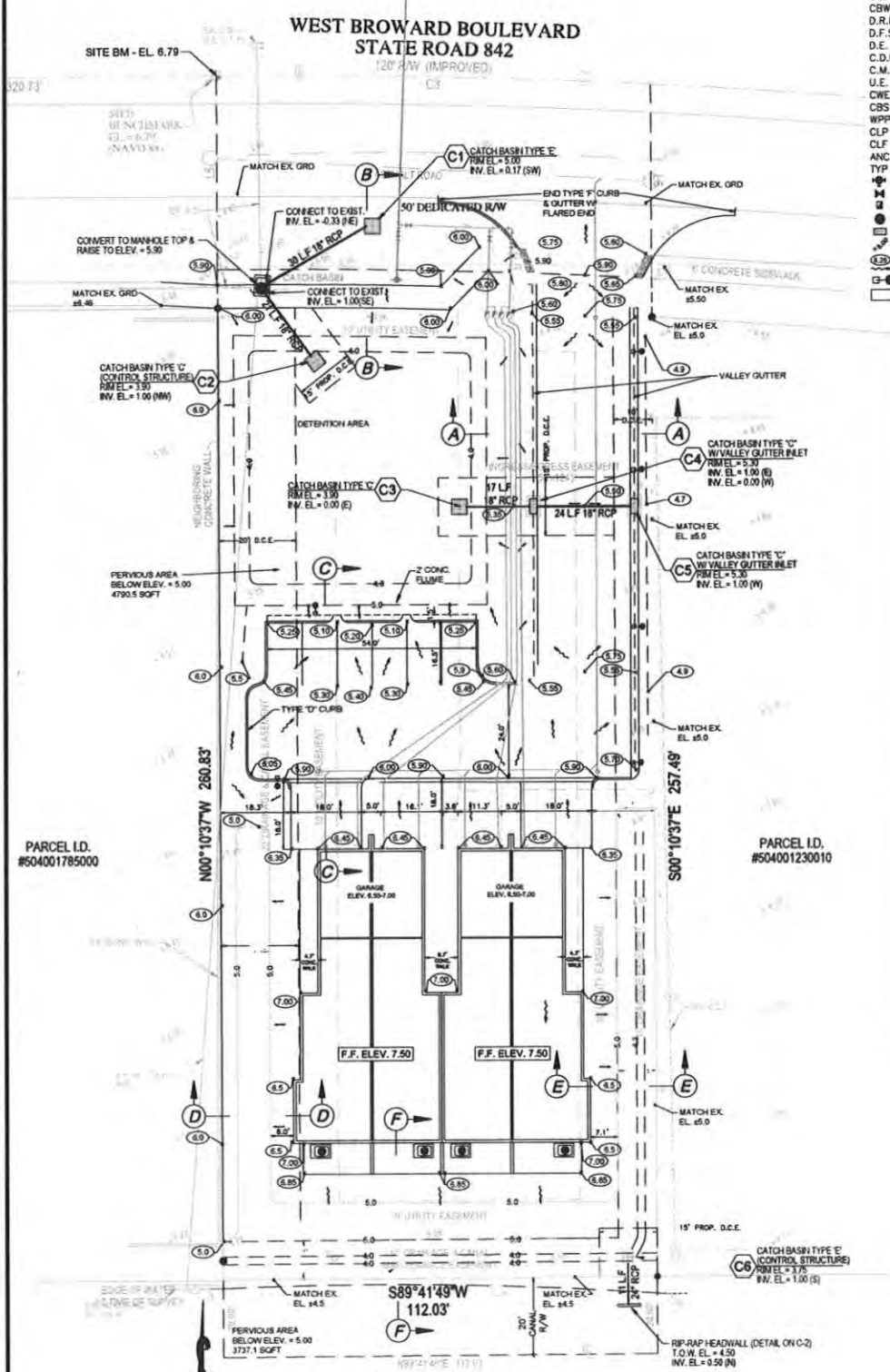
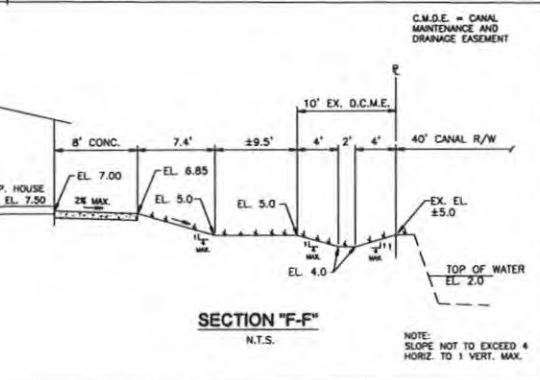
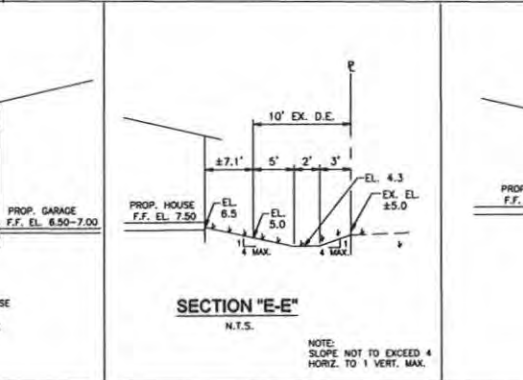
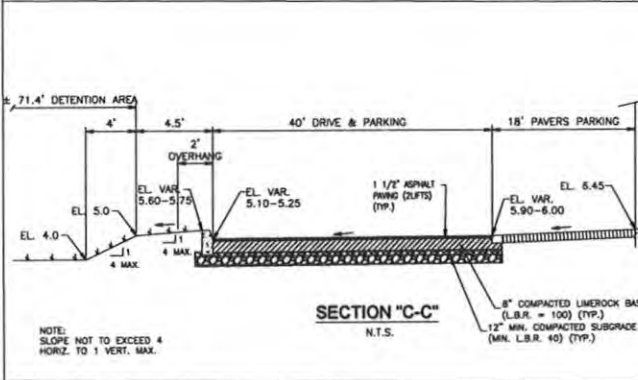
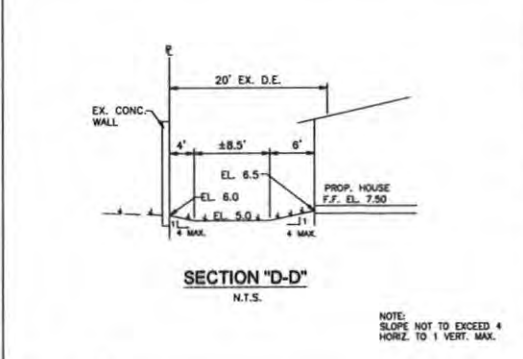
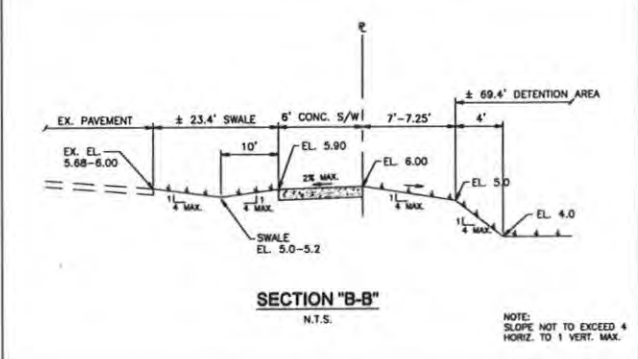
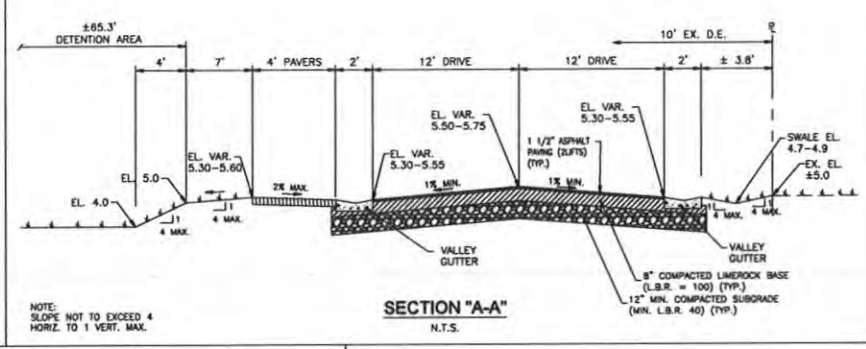
STORMWATER MANAGEMENT DESIGN DATA TABLE		
ITEM	ELEVATION IN FEET	
	REQUIRED	PROVIDED
ELEVATION IN THESE DRAWINGS ARE BASED ON:		
NOVD29 TO NAVD88 CONVERSION FACTOR	NAV88	
	0.00 MCD29 - (-)1.51 NAV88	
MINIMUM FINISHED FLOOR ELEVATION		
PAID - SEC. 3.3.1 OF POLICIES AND PROCEDURE MANUAL	7.50	7.50
BROWARD COUNTY 100-YEAR FLOOD ELEVATION	7.00	7.50
F.B.C. - FEMA BFE (AH-8.0) + 1 FT.	7.00	7.50
18" ABOVE NEAREST ROAD CROWN ELEVATION - RESIDENTIAL STRUCTURES	7.50	7.50
6" ABOVE NEAREST ROAD CROWN ELEVATION - NON-RESIDENTIAL STRUCTURES	N/A	N/A
MINIMUM CROWN OF ROAD ELEVATION		
PAID - SEC. 3.3.2 OF POLICIES AND PROCEDURE MANUAL	5.50	5.50
BROWARD COUNTY 10-YEAR FLOOD ELEVATION	5.50	5.50

PILLAR CONSULTANTS, INC.
 Consulting Engineers, Planners, Surveyors
 5230 S. University Drive - Suite 104
 Davie, Florida 33328
 Phone: (954) 680-6533
 P.E. # 70946

L'RESERVE RESIDENCES
 11400 W. BROWARD BLVD.
 CITY OF PLANTATION
 BROWARD COUNTY, FLORIDA

SCALE: 1"=20'
 DATE: 06/24/22
 DRAWN BY: AAG
 SHEET No.
C-1
 22032

- LEGEND:**
- BCR BROWARD COUNTY RECORDS
 - DCR DADE COUNTY RECORDS
 - PB PLAT BOOK
 - PG PAGE
 - ORB OFFICIAL RECORDS BOOK
 - C CENTERLINE
 - R/W RIGHT-OF-WAY
 - SEC SECTION
 - CBWCD CENTRAL BROWARD WATER CONTROL DISTRICT
 - D.R.F.E. DRAINAGE, RETENTION & FLOWAGE EASEMENT
 - D.F.S.E. DRAINAGE, FLOWAGE & STORAGE EASEMENT
 - D.E. DRAINAGE EASEMENT
 - C.D.E. CANAL AND DRAINAGE EASEMENT
 - C.M.D.E. CANAL MAINTENANCE & DRAINAGE EASEMENT
 - U.E. UTILITY EASEMENT
 - CWE CONTROL WATER ELEVATION
 - CBS CONCRETE BLOCK STRUCTURE
 - WPP WOOD POWER POLE
 - CLP CONCRETE LIGHT POLE
 - ANC ANCHOR
 - TYP TYPICAL
 - FIRE HYDRANT
 - GATE VALVE
 - WATER METER
 - SANITARY SEWER MANHOLE
 - CATCH BASIN
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - FLOW DIRECTION
 - LIGHT POLE
 - PERVIOUS AREA BELOW EL.=5.00



P.A.I.D. STATEMENT NOTES

- THE PURPOSE OF THE NATURAL AREA IS TO PROVIDE FLOOD PROTECTION THROUGH PERIODIC INUNDATION. ANY IMPROVEMENTS, MATERIALS OR LANDSCAPING PLACED WITHIN THE NATURAL AREA MAY BE SUBJECT TO DAMAGE FROM THE PERIODIC INUNDATION.
- PERIMETER AND ROADWAY SWALES AND CULVERTS SHALL BE CONSTRUCTED AND MAINTAINED BY OWNER IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTICE, AND SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. IF A TEMPORARY OBSTRUCTION IS UNAVOIDABLE, OWNER SHALL OBTAIN APPROVAL FROM THE DISTRICT FOR THE TEMPORARY OBSTRUCTION.
- DURING THE IMPROVEMENT OF THE PROPERTY FROM LAND IN ITS NATURAL CONDITION TO DEVELOPED LAND, OWNER MAY BE REQUIRED TO IMPROVE THE SWALES BETWEEN THE PROPERTY AND THE NEAREST DISTRICT CANAL/CULVERT.
- PLACEMENT OF ANY PERMANENT MATERIAL OR IMPROVEMENTS WITHIN DISTRICT'S EASEMENTS, SWALES, AND THE NATURAL AREA MAY BE PROHIBITED. SUCH PLACEMENT IS SUBJECT TO DISTRICT REVIEW, APPROVAL, AND/OR PERMIT IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTICE IN USE AT THE TIME THE PLACEMENT IS TO TAKE PLACE.

NOTES:

- THIS SITE CONTAINS 27,976 SQUARE FEET (0.64 ACRES) MORE OR LESS.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK "BC 83A"; ELEVATION = +11.03' NAVD88
- PROPOSED LOCATION OF HOME AS PER ARCHITECTURAL SITE PLAN BY GLOBAL GUARANTEED GOODS & SERVICES INC, 29002 ALESSANDRIA CIR., BONITA SPRINGS, FL, 34135.
- SURVEY INFORMATION TAKEN FROM SURVEY PREPARED ON 04/09/21 BY COMPASS SURVEYING, 6250 N. MILITARY TRAIL, SUITE 102, WEST PALM BEACH, FL 33407.
- FLOOD ELEVATION INFORMATION:
 COMMUNITY PANEL NO. : 12011C0535 H
 MAP REVISION DATE : AUGUST 18, 2014
 FIRM ZONE : AH
 BASE FLOOD ELEVATION : 6 FEET (NAVD) 88
- SLOPES SHALL NOT EXCEED 4(H):1(V) MAX.
- CONTACT PAID DISTRICT MANAGER AT 954-474-3092 PRIOR TO INSTALLATION OF DRIVEWAY CULVERT AND FINAL GRADING OF PROPERTY.

C-1 CANAL
 TOP OF WATER ELEV. = 2.5

NATURAL GRADE AREA:
 TOTAL LOT AREA: 27,976 SF
 30% REQUIRED BELOW EL. 5.0 = 8,393 SF
 AREA TO REMAIN AT NATURAL GRADE: 8,252 SF (30.5%)

GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft

THE ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). THE CONVERSION FROM NAVD 1929 ELEVATIONS TO NAVD 1988 ELEVATIONS IS MINUS 1.51 FEET AT THIS LOCATION ONLY.

SHEET TITLE
PAVING, GRADING AND DRAINAGE PLAN



REVISIONS

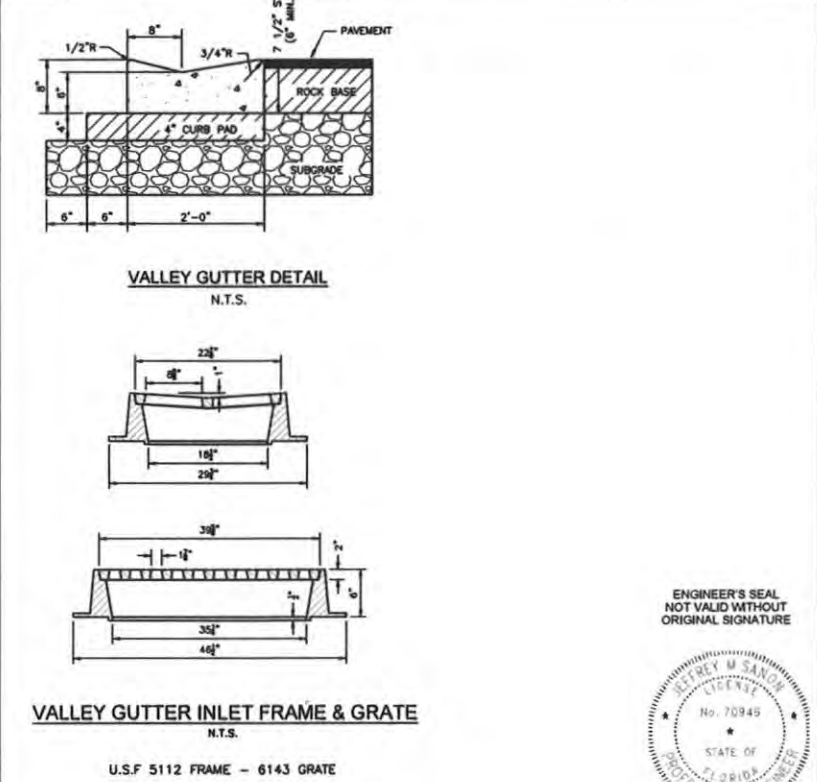
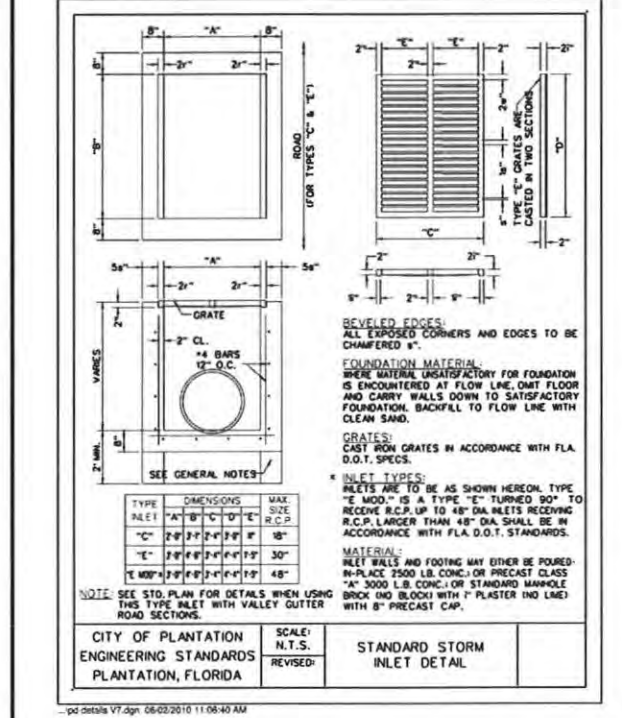
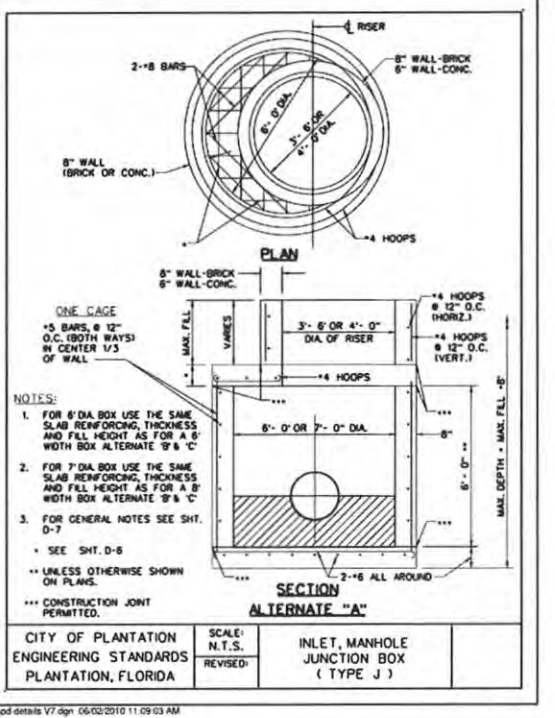
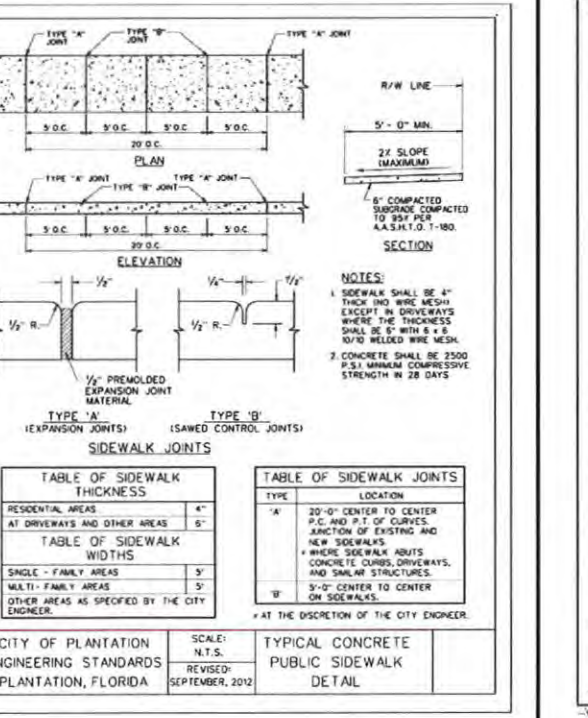
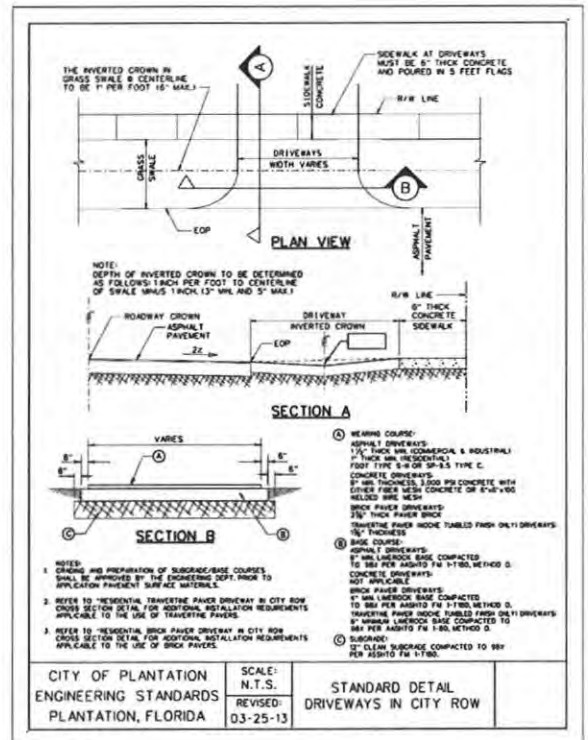
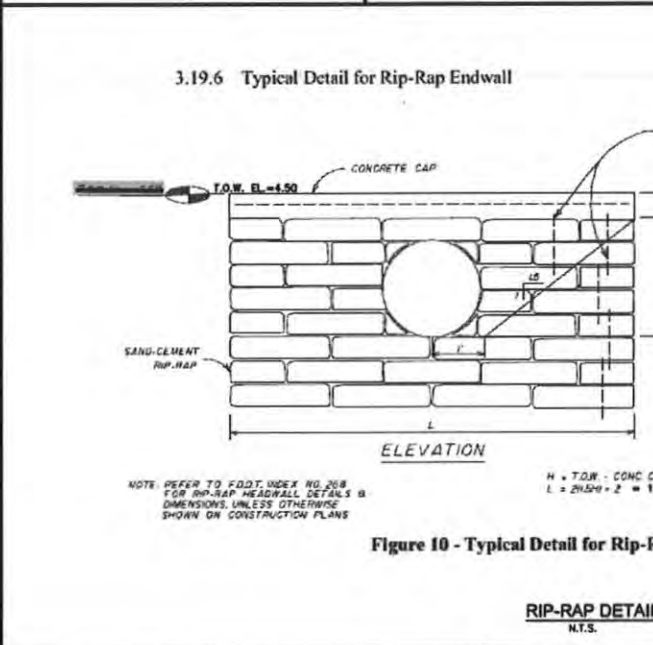
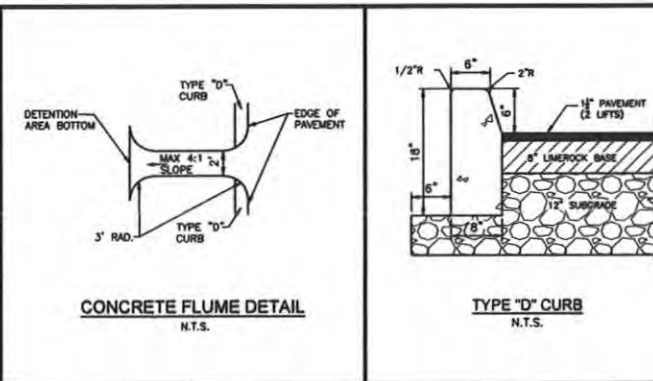
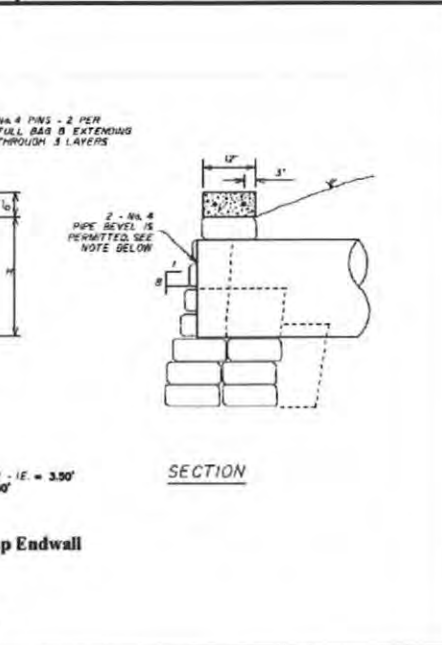
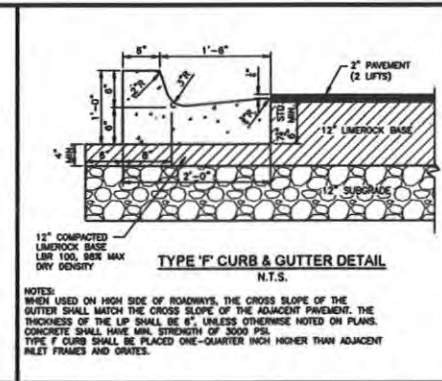
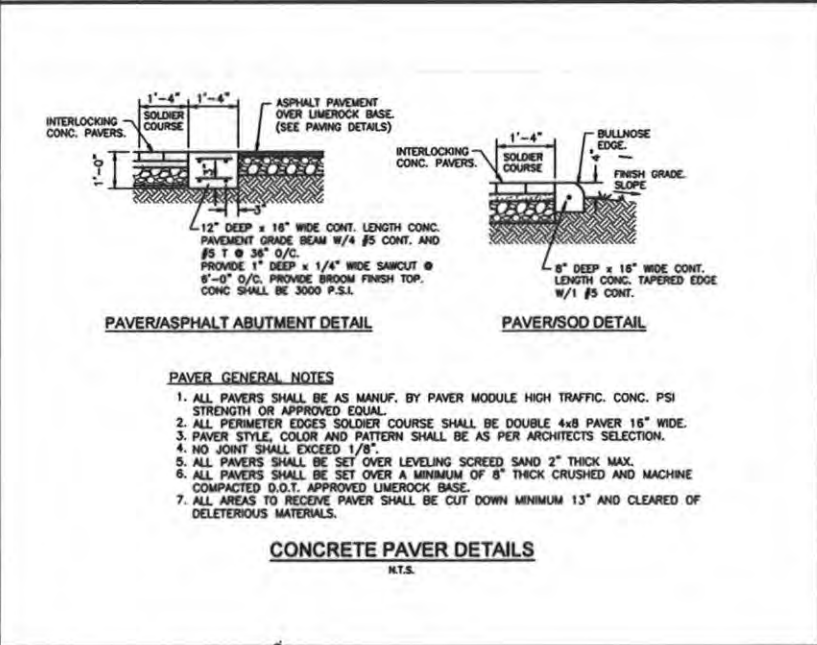
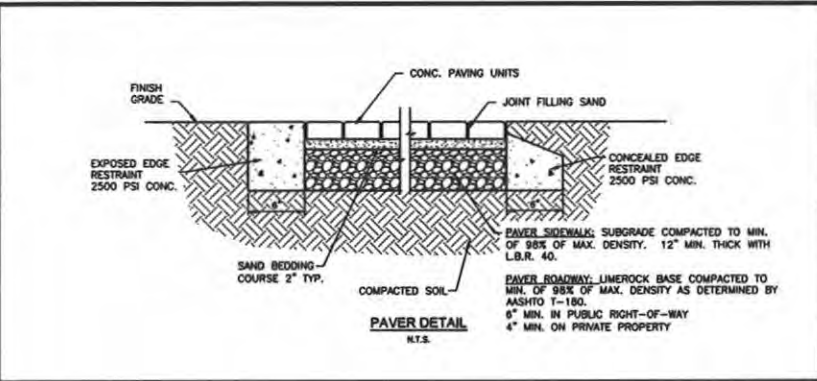
09/08/23 - PAID COMMENTS

PILLAR CONSULTANTS, INC.
 Consulting Engineers, Planners, Surveyors
 5230 S. University Drive - Suite 104
 Davie, Florida 33328
 Phone: (954) 680-6533

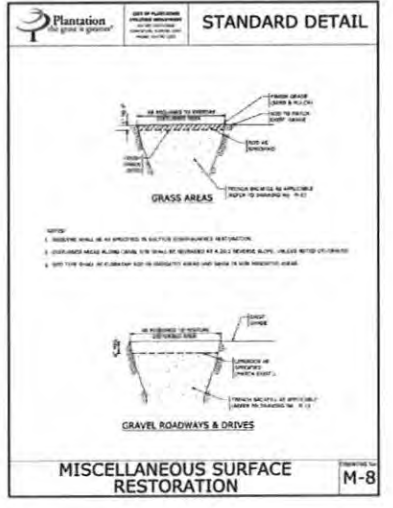
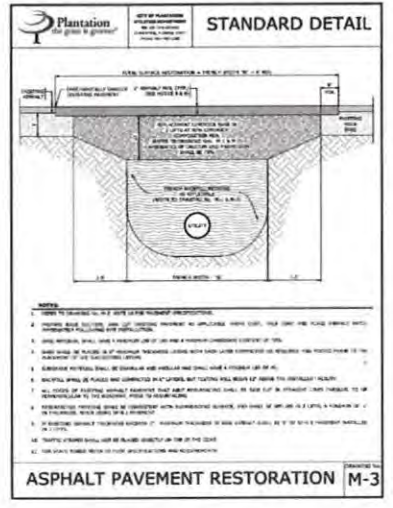
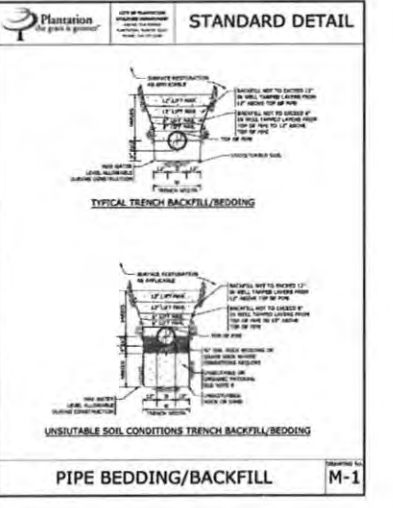
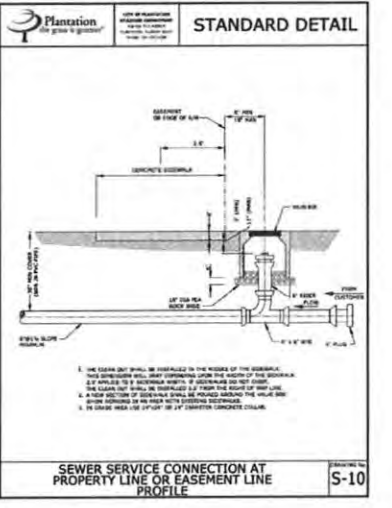
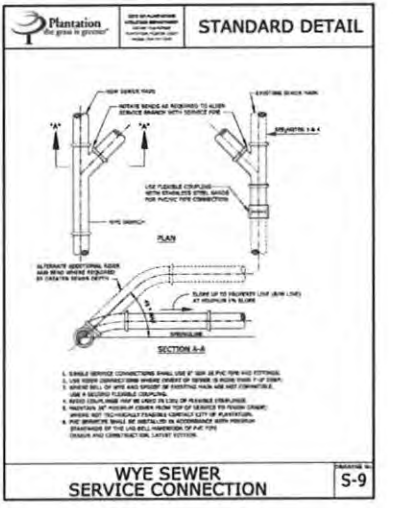
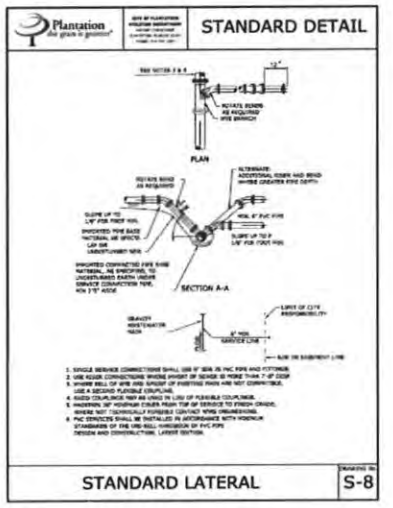
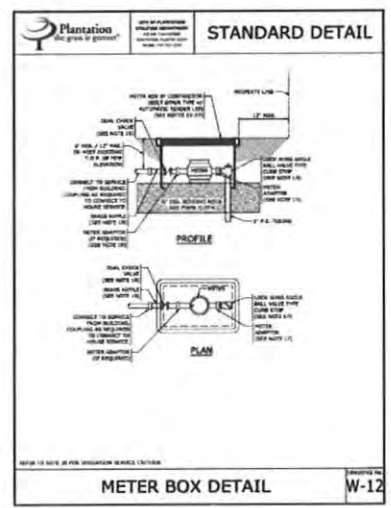
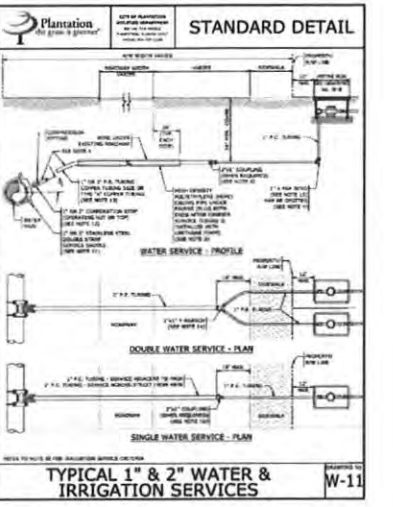
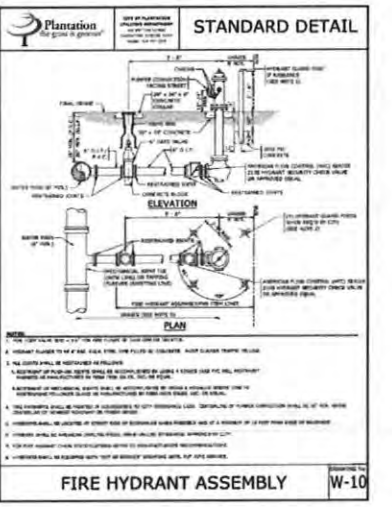
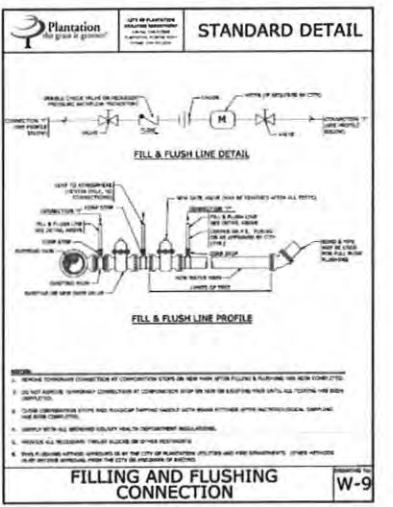
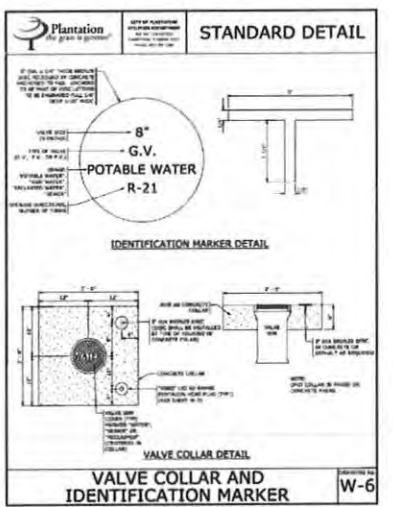
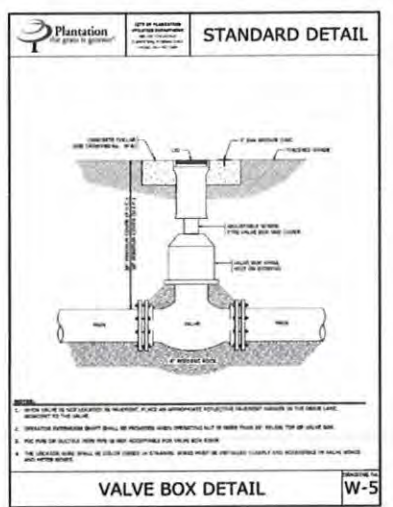
P.E. # 70946

L'RESERVE RESIDENCES
 11400 W. BROWARD BLVD.
 CITY OF PLANTATION
 BROWARD COUNTY, FLORIDA

SCALE: N.T.S.
 DATE: 06/27/22
 DRAWN BY: AAG
 SHEET No.
C-2
 22032



SHEET TITLE
ENGINEERING DETAILS



1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT HAVE FACILITIES WITHIN THE PROJECT AREA.
2. THE ABOVE SERVICE SHALL APPEAR ON THE COVER SHEET OF ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY.

ENGINEER'S SEAL
NOT VALID WITHOUT ORIGINAL SIGNATURE



SHEET TITLE
WATER AND SEWER DETAILS

REVISIONS

PILLAR CONSULTANTS, INC.
Consulting Engineers, Planners, Surveyors
5230 S. University Drive - Suite 104
Davie, Florida 33328
Phone: (954) 680-6533

P.E. # 70946

L'RESERVE RESIDENCES
11400 W. BROWARD BLVD.
CITY OF PLANTATION
BROWARD COUNTY, FLORIDA

SCALE: N.T.S.
DATE: 10/31/23
DRAWN BY: AAG
SHEET No.
C-4
22032

PLANTATION ACRES IMPROVEMENT DISTRICT PERMIT

TYPE OF PERMIT: Construction Modification of existing Permit # _____ Extension of existing Permit # _____
PROJECT TITLE: L Reserve Residences At Plantation
STREET ADDRESS: 11450 W Broward Blvd - Plantation/FL - 33325
LOCATION: Tract(s) 52 1/4 SE Section 01 Township 505 Range 406
 Plat Book 2 Page 17 Block _____ Lot _____
PURPOSE: Residential (residential, agricultural, commercial, etc.)
PROJECT SIZE: This phase: 0.64 acres Total: 0.64 acres
DESCRIPTION OF WORK TO BE PERMITTED: Build 4 Town homes
 NUMBER OF DWELLING UNITS 4 OR SQUARE FEET OF COMMERCIAL AREA 0
 DATE CONSTRUCTION OR ALTERATION IS EXPECTED TO START 06/2024
 RECEIVING CANAL FOR PROJECT DRAINAGE _____

PROPERTY OWNER: Lovina Properties Inc
 ADDRESS 3988 NW 33 Way
 CITY Coral Springs STATE FL ZIP 33065 PHONE _____
 EMAIL Lovina Properties@gmail.com

DEVELOPER: Same as Owner
 ADDRESS: _____
 CITY _____ STATE _____ ZIP _____ PHONE _____
 EMAIL _____

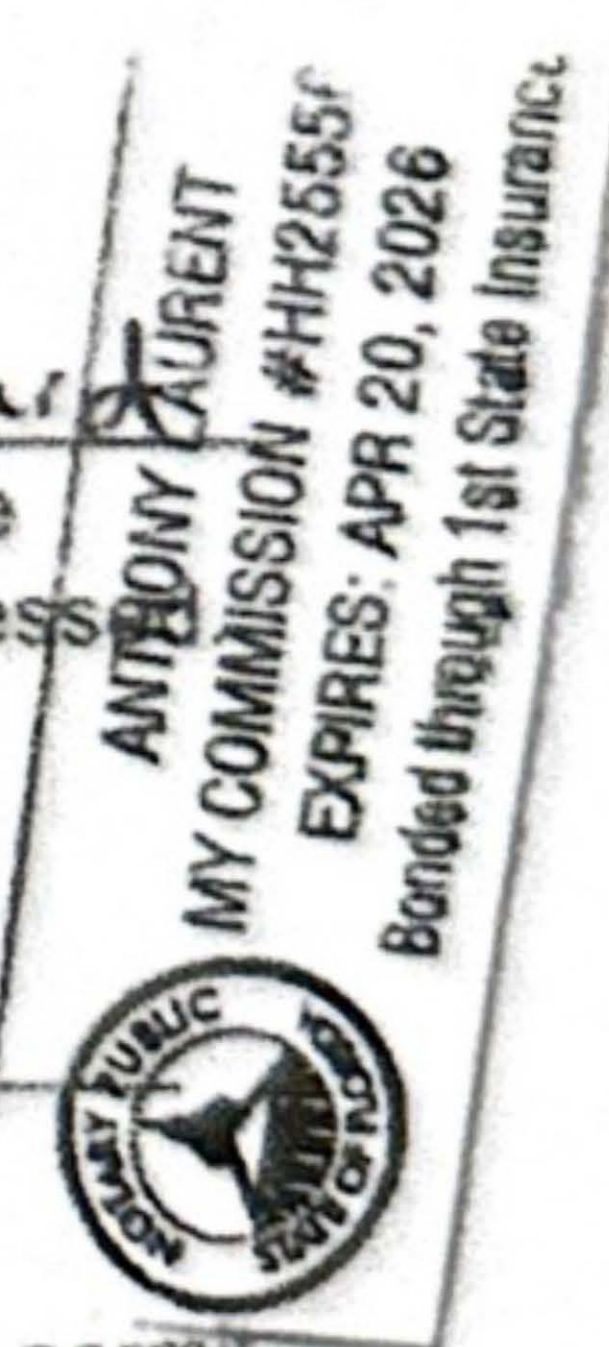
PROJECT ENGINEER: Pillar Consultants, Inc - Jeffrey Samon, P.E
 ADDRESS: 5230 S University Dr #104
 CITY Deerfield Beach STATE FL ZIP 33428 PHONE 954-680-6533
 EMAIL jeffrey@pillarconsultants.com

- AS THE PERMITTEE AND/OR OWNER OF THE PROPOSAL SET FORTH ABOVE, I DO UNDERSTAND AND AGREE THAT:**
1. The use of or construction will be in accordance with the details of the approved drawing(s) supporting this permit; and if any changes are required, same will be cleared with the PLANTATION ACRES IMPROVEMENT DISTRICT in writing prior to initiating.
 2. The PLANTATION ACRES IMPROVEMENT DISTRICT will be notified, as required to coordinate and schedule inspections.
 3. Erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the PLANTATION ACRES IMPROVEMENT DISTRICT.
 4. The area under permit will be maintained in a safe condition at all times or equipment will be promptly removed from the right of way of easement and that the right of way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.
 5. No beautification or erection of any structure or vegetation that will prohibit or limit the access of PLANTATION ACRES IMPROVEMENT DISTRICT equipment or vehicles in the right of way or easements will be permitted.
 6. As Permittee, will hold and save the PLANTATION ACRES IMPROVEMENT DISTRICT and its successors harmless from any and all damages, claims or liabilities which may arise by reason of the construction, operation, maintenance or use of the work or structure involved in the permit.
 7. This permit does not convey any property rights nor any rights or privileges other than those specified herein, nor relieve from complying with any law, regulation or requirement affecting the rights of other bodies or agencies.
 8. This permit is in effect for one year, with an additional 60 day grace period. An extension must be requested if work is not completed during permit period.
 9. To abide by the terms and conditions of the permit.

SIGNED [Signature] DATE 1/18/24
 Owner's Signature (if not the owner, certify below)

I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER: (Attach Letter of Authorization from Owner)
 _____ TITLE _____

STATE OF FLORIDA
 COUNTY OF _____
 Before me personally appeared Ronell Louina as owner of 11450 N Broward
 to be known to be the person(s) described in or who has produced drivers license as identification and who executed the
 foregoing instrument and acknowledged before me that Ronell Louina executed said instrument for the purpose expressed
 WITNESS my hand and official seal this eighteenth day of January, 2024
 My Commission Expires: Apr 20, 2026
 NOTARY PUBLIC Anthony Lavient
 Type, Print or Stamp Name



This permit does not become valid until signed by the Chairman of the PLANTATION ACRES IMPROVEMENT DISTRICT. This permit will expire one year, to the day, from the date signed by the Chairman.

SIGNED _____ DATE _____ PERMIT REFERENCE NUMBER _____
H:\PAID\FORMS\Applications\DISTPER2.PAI rev. 04/02/98 SFP8

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: C1

Action Required: Board Approval

Item Description: 12050 NW 18th Court R/W VACATION
Request for "No Objection Letter"

P.A.I.D. Number: R2401.01

Attachments: EXHIBIT A - SKETCH AND LEGAL OF RIGHT-OF-WAY TO BE VACATED
EXHIBIT B - SURVEY
EXHIBIT C - MC AULEY'S PLAT
EXHIBIT D - AERIAL OF RIGHT-OF-WAY
EXHIBIT E - EMAIL FROM CITY ENGINEER REQUESTING NO OBJECTION LETTER

Summary: The applicant has applied to the City for the vacation of the City's right-of-way for the portion of NW 18th Court lying north of and adjacent to the 12050 NW 18th Court. Refer to Exhibits A-D for location of and plat for the right-of-way. The City has requested letters of no objection from all entities, including PAID, that may have facilities within the right-of-way.

The subject property is undeveloped. PAID has no facilities within the right-of-way and PAID's criteria will apply to the subject property whatever its eventual use. PAID is not involved in the conveyance of property between third parties.

Recommendation: NO OBJECTION CONDITIONED ON THE FOLLOWING:
a. Abandonment of existing drainage easements dedicated on the plat
b. Grant of new easements where the District wants the drainage easements to be, and have those easements recorded in the public records.

Comments: The approval letter from the District will be provided as the letter of no objection.

Prepared by: CJF Date: 1/18/24

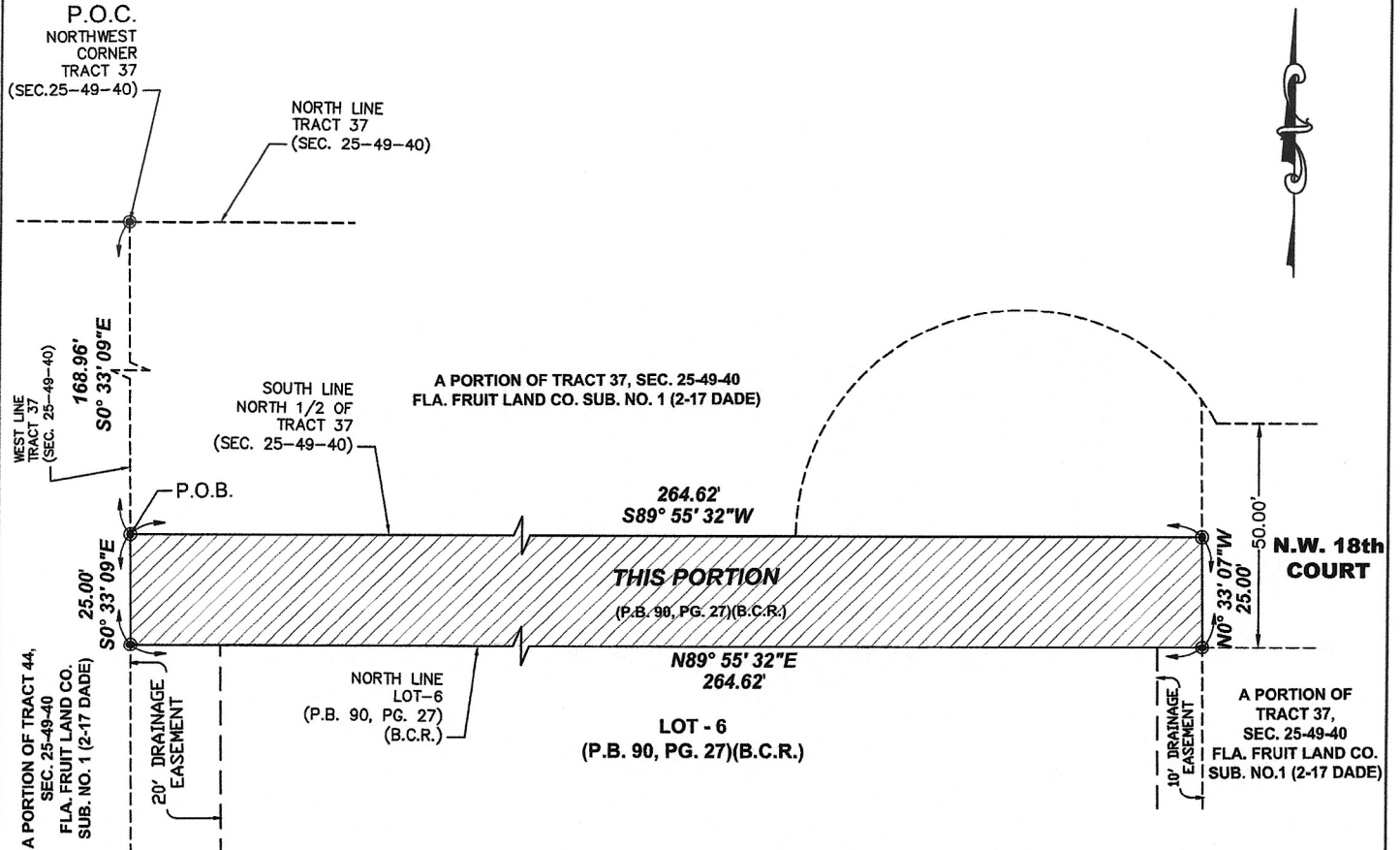
EXHIBIT "A"

SKETCH AND LEGAL DESCRIPTION

LEGAL DESCRIPTION:

THAT PORTION OF TRACT 37 IN SECTION 25, TOWNSHIP 49 SOUTH, RANGE 40 EAST, OF FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 90, AT PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID TRACT 37; THENCE RUN SOUTH 0 DEGREES 33'09" EAST ALONG THE WEST LINE OF SAID TRACT 37, A DISTANCE OF 168.96 FEET TO THE POINT OF BEGINNING; THENCE, CONTINUE SOUTH 0 DEGREES 33'09" EAST A DISTANCE OF 25.00 FEET; THENCE NORTH 89 DEGREES 55'32" EAST A DISTANCE OF 264.62 FEET; THENCE NORTH 0 DEGREES 33'09" WEST A DISTANCE OF 25.00 FEET; THENCE SOUTH 89 DEGREES 55'32" WEST 264.62 FEET TO THE POINT OF BEGINNING. SAID LANDS LYING AND BEING IN THE CITY OF PLANTATION, BROWARD COUNTY, FLORIDA.

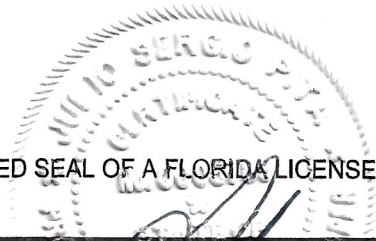
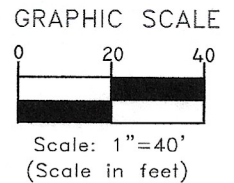


LEGEND:

- P.B. = PLAT BOOK
- PG. = PAGE
- ⊕ = CENTER LINE
- P.C. = POINT OF CURVATURE
- P.T. = POINT OF TERMINATION
- P.I. = POINT OF INTERSECTION

NOTE:

THIS SKETCH IS NOT A SURVEY.
 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

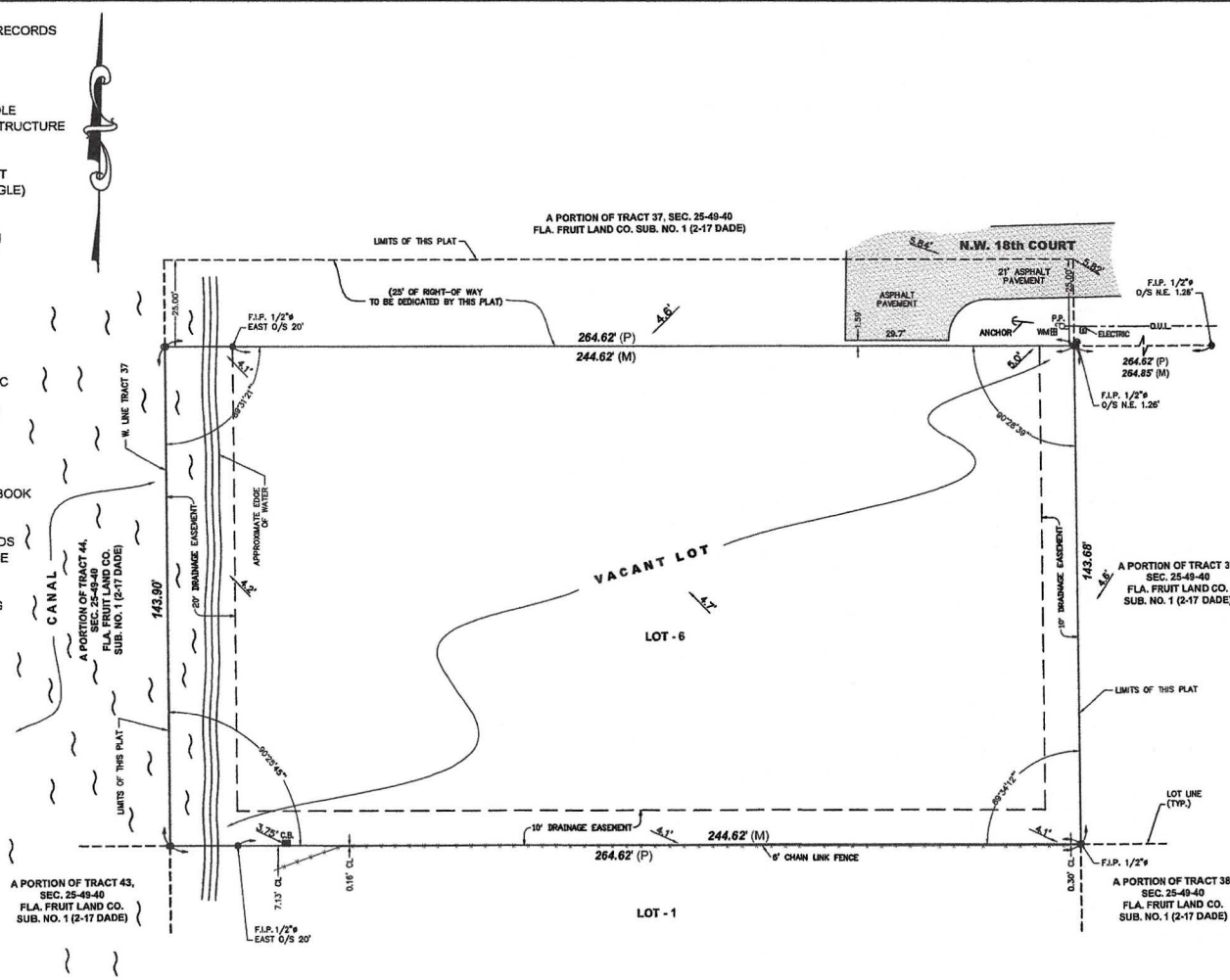


GAVY & ASSOCIATES, INC
LAND SURVEYORS
LB # 6971
2657 S.W. 145th AVENUE
MIAMI, FLORIDA, 33175
PHONE: (786) 236-8344

SIGNED: _____ DATE: 01/08/2024
JULIO S. PITA
 PROFESSIONAL SURVEYOR AND MAPPER
 NO. L.S. 5789 STATE OF FLORIDA

GENERAL LEGEND:

- BCR = BROWARD COUNTY RECORDS
- BM = BENCHMARK
- CB = CATCH BASIN
- C/L = CENTERLINE
- CLF = CHAINLINK FENCE
- CLP = CONCRETE LIGHT POLE
- CBS = CONCRETE BLOCK STRUCTURE
- CONC = CONCRETE
- C/S = CONCRETE SLAB
- DE = DRAINAGE EASEMENT
- D = DELTA (CENTRAL ANGLE)
- E = EAST
- ELE = ELEVATION
- X 0.00' = EXISTING ELEVATION
- EOP = EDGE OF PAVEMENT
- EOW = EDGE OF WATER
- FF = FINISHED FLOOR
- FH = FIRE HYDRANT
- FN = FOUND NAIL
- INV = INVERT
- FIP = FOUND IRON PIPE
- FIR = FOUND IRON ROD
- FND = FOUND NAIL AND DISC
- L = ARC LENGTH
- MDCR = MIAMI DADE COUNTY RECORDS
- N = NORTH
- N/D = NAIL AND DISC
- MF = METAL FENCE
- ORB = OFFICIAL RECORDS BOOK
- O/S = OFFSET
- PB = PLAT BOOK
- PBCR = PALM BEACH RECORDS
- PC = POINT OF CURVATURE
- PG = PAGE
- PL = PROPERTY LINE
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PVCF = PLASTIC FENCE
- R = RADIUS
- R/W = RIGHT OF WAY
- S = SOUTH
- S/W = SIDEWALK
- SIR = SET 1/2" IRON ROD
- SND = SET NAIL & DISC
- UE = UTILITY EASEMENT
- UP = UTILITY POLE
- W = WEST
- W/F = WOOD FENCE
- WM = WATER METER
- ⊕ = UTILITY POLE



LEGAL DESCRIPTION:
 LOT 6, OF THE McAULEY'S PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 90, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FOLIO #: 4940 25 32 0020

- SURVEYORS NOTES:**
- (1). BEARINGS SHOWN HEREON ARE REFERENCED TO THE RECORD PLAT AND ARE ASSUMED.
 - (2). LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
 - (3). NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
 - (4). THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
 - (5). ELEVATIONS SHOWN REFER TO N.A.V.D. 88
 BM#: :0416 (BROWARD) ELEVATION= 6.180 (N.G.V.D. 1929)

CERTIFICATION OF BOUNDARY SURVEY:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF; THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 TO 17.052 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

10/22/2023
JULIO S. PITA, P.L.S. DATE

PROFESSIONAL LAND SURVEYOR
 LICENSE No. PS# 5789
 STATE OF FLORIDA

Topographic Survey

PROPERTY ADDRESS:
 12050 NW 18 COURT,
 PLANTATION, FL 33323

FLOOD ZONE DATA:
 ZONE: AE 6FT (NAVD 88)
 COMMUNITY #: 120054
 PANEL & SUFFIX: 0345 H
 DATE OF FIRM: 8/18/14

REVISIONS:

DATE:

SCALE: 1" = 35'

CADD: J.A.

CHECKED BY: JSP

GL-12139

SHEET # 1 OF 1

CERTIFIED TO:

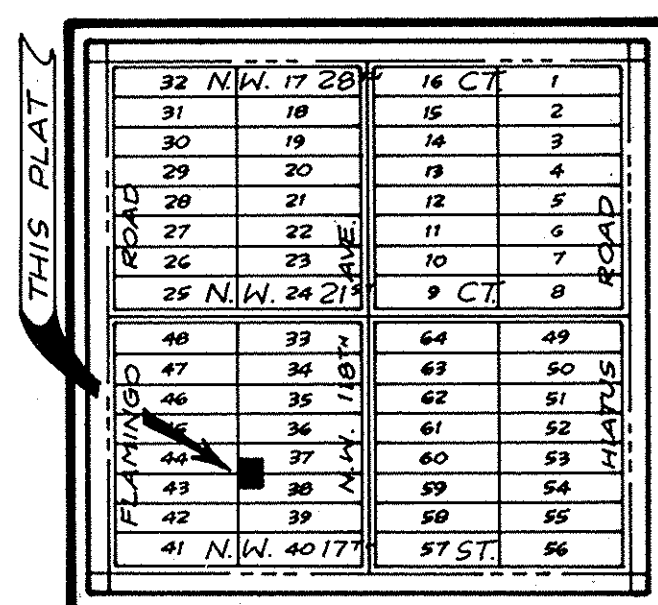
1. MICHAEL AND EDNA LEE



GAVY & ASSOCIATES, INC
LAND SURVEYORS
 LB # 6971
 2657 S.W. 145th AVENUE
 MIAMI, FL. 33175
 PHONE: (786) 236-8344

THE MC AULEY'S PLAT

A REPLAT OF A PORTION OF TRACTS 37 & 38, SEC. 25, TWP. 49 S., RGE. 40 E.
FLORIDA FRUIT LANDS COMPANY SUBDIVISION NO. 1 (2-17 DADE)
IN THE CITY OF PLANTATION, BROWARD COUNTY, FLORIDA



LOCATION SKETCH
SEC. 25, TWP. 49 S., RGE. 40 E.

DESCRIPTION:
The west 264.62 feet of the North one-half of Tract 38 and the West 264.62 feet of the South one-half of Tract 37, Section 25, Township 49 South, Range 40 East, FLORIDA FRUIT LANDS COMPANY SUBDIVISION NO. 1, according to the plat thereof recorded in Plat Book 2, Page 17, of the Public Records of Dade County, Florida. Said lands lying and being in the City of Plantation, Broward County, Florida.

DEDICATION:
State of Florida S.S.
County of Broward S.S.
KNOW ALL MEN BY THESE PRESENTS: That Kenneth J. McAuley and Elizabeth H. McAuley, his wife owner/s of the lands described hereon; and Tow Lease Inc and HOLLYWOOD FEDERAL SAVINGS and LOAN ASSOCIATION owner/s and holder/s of certain mortgage/s on the lands described hereon, have caused said lands to be surveyed, and platted in the manner hereon shown. Said lands to be known as THE MC AULEY'S PLAT. The Drainage easements are hereby dedicated to the perpetual use of the Duie Drainage District for proper purposes. The Roads are hereby dedicated to the perpetual use of the public for proper purposes.

IN WITNESS WHEREOF: I/We hereby set our hands and affix our seals this 21 day of June, 1976.
SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:

Phyllis K. Reid WITNESS
Shirley E. Weimer WITNESS
Kenneth J. McAuley
Elizabeth H. McAuley

IN WITNESS WHEREOF: I/We hereby set our hands and affix our seals this 29 day of June, 1976.
SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:

Elizabeth H. McAuley WITNESS
Shirley E. Weimer WITNESS
Tow Lease, Inc.
J.P. Lewis Pres.

IN WITNESS WHEREOF: I/We hereby set our hands and affix our seals this 2 day of July, 1976.
SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:

Audrey Ohansen WITNESS
Oliver Funk WITNESS
J.P. Lewis Pres.
John H. Sander

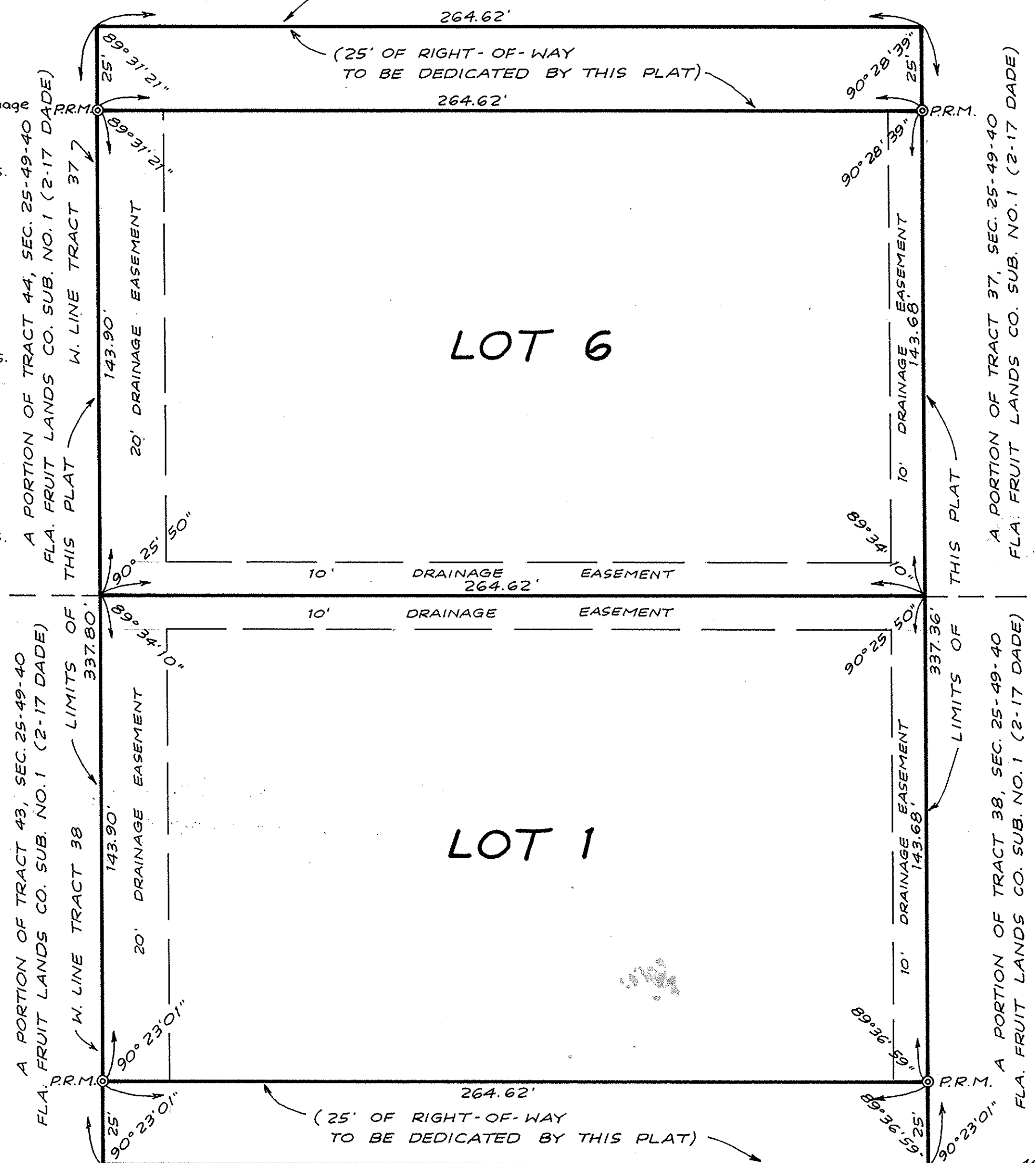
ACKNOWLEDGEMENT:
I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take acknowledgements Kenneth J. McAuley, and Elizabeth H. McAuley, his wife, to me well known to be the individuals described in and who executed the foregoing dedication and it was acknowledged before me that the execution of same was done so freely and voluntarily, for the uses and purposes therein expressed.
WITNESS MY hand and official seal this 21 day of June, 1976
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES MAY 31, 1980
Shirley E. Weimer NOTARY PUBLIC

ACKNOWLEDGEMENT:
I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take acknowledgements J.P. Lewis, President of TOW LEASE, INC., to me well known to be the individual described in and who executed the foregoing dedication and it was acknowledged before me that the execution of same was done so freely and voluntarily, for the uses and purposes therein expressed.
WITNESS MY hand and official seal this 29 day of June, 1976
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES MAY 31, 1980
Shirley E. Weimer NOTARY PUBLIC

ACKNOWLEDGEMENT:
I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take acknowledgements Thot J.M. BLANZ PRESIDENT - HELEN N. DAVIDSON SECRETARY OF HOLLYWOOD FEDERAL SAVINGS AND LOAN ASSOCIATION to me well known to be the individuals described in and who executed the foregoing dedication and it was acknowledged before me that the execution of same was done so freely and voluntarily, for the uses and purposes therein expressed.
WITNESS MY hand and official seal this 2nd day of July, 1976
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES May 4, 1979
Don Ray NOTARY PUBLIC

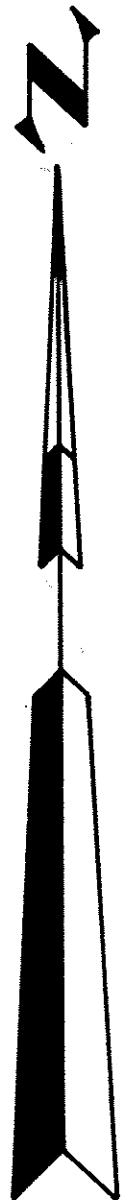
A PORTION OF TRACT 37, SEC. 25-49-40
FLA. FRUIT LANDS CO. SUB. NO. 1 (2-17 DADE)

N.W. 18TH CT
LIMITS OF THIS PLAT



N.W. 18TH ST.
LIMITS OF THIS PLAT

TURNER'S PLAT
PLAT BOOK 87, PAGE 48



NOTE: © P.R.M. - INDICATES PERMANENT REFERENCE MONUMENT.

BROWARD COUNTY CENTRAL SERVICES DEPARTMENT - ARCHIVES AND MINUTES DIVISION:
I HEREBY CERTIFY: That this plat complies with the provisions of "AN ACT RELATING TO MAPS AND PLATS" approved by the Governor June 27, 1971. This plat accepted for record by the BOARD OF COUNTY COMMISSIONERS of Broward County, Florida, this 7TH day of September, 1976.

L.A. HESTER,
COUNTY ADMINISTRATOR
BY: [Signature] DEPUTY

BROWARD COUNTY FINANCE DEPARTMENT - RECORDING DIVISION:
This instrument filed for record this 7TH day of Sept., 1976, and recorded in Plat Book 90 on page 27.
RECORD VERIFIED
L.A. HESTER,
COUNTY ADMINISTRATOR
BY: [Signature] DEPUTY

BROWARD COUNTY TRANSPORTATION AND PLANNING DEPARTMENT:
This plat is approved for record.
[Signature] Date: 9/7/76
JOHN M. GERREN, JR.,
DIRECTOR
FLORIDA P.E. Reg. No. 6895

BROWARD COUNTY PLANNING COUNCIL:
THIS IS TO CERTIFY: That the BROWARD COUNTY PLANNING COUNCIL approved this plat with regard to dedication of Rights-of-way for Traffic Ways by resolution duly adopted this 26TH day of August, 1976.
Date: Aug 27, 1976 By: [Signature]

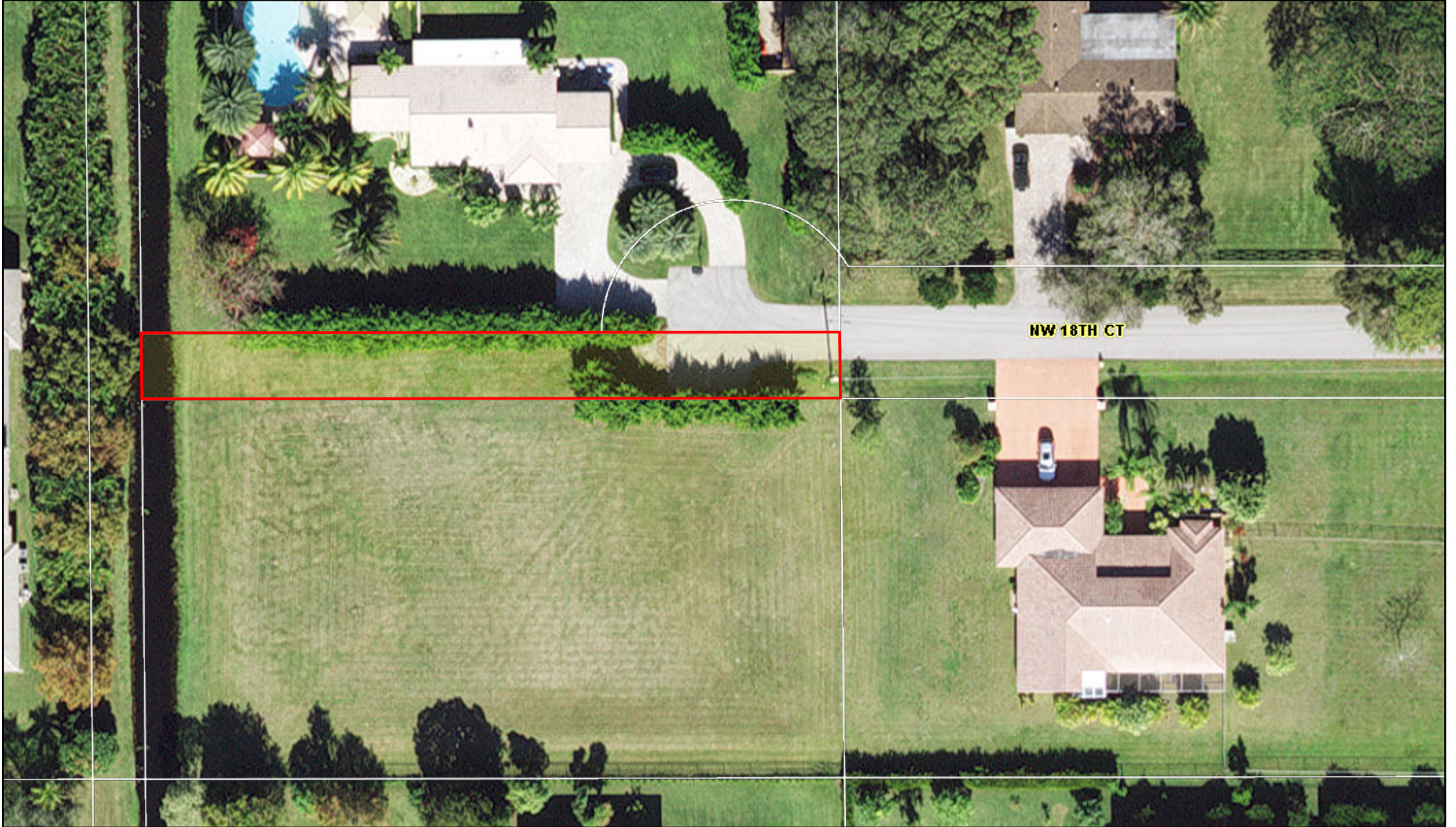
CITY PLANNING AND ZONING BOARD:
THIS IS TO CERTIFY: That the PLANNING AND ZONING BOARD OF THE CITY OF PLANTATION has approved and accepted this plat for recording this 1ST day of JUNE, 1976.
[Signature] CHAIRMAN

CITY ENGINEER:
This plat approved for record this 7TH day of JULY, 1976.
[Signature] CITY ENGINEER

CITY COUNCIL:
THIS IS TO CERTIFY: That this plat has been approved and accepted for recording by the CITY COUNCIL OF PLANTATION, FLORIDA, by resolution adopted by said City Council this 22 day of JUNE, 1976. All previous plats of said lands are hereby voided, cancelled, and superseded by this plat.
[Signature] MAYOR
[Signature] CITY CLERK

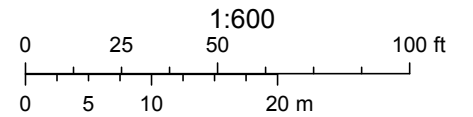
SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY: That this plat is a true and correct representation of the lands surveyed, that the survey was made under my responsible direction and supervision and that the survey data complies with all of the requirements of Chapter 177, Florida Statutes. Permanent References Monuments (P.R.M.'S) have been set as indicated and Permanent Control Points (P.C.P.'S) shall be set within one year of the date this plat is recorded.
Dated May 7, 1976
[Signature]
HUGH R. DAVIS
Reg. Land Surveyor # 978
State of Florida

DAVIS ASSOCIATES, INC.
Consulting Civil and Environmental Engineers - Land Surveyors - Land Development Consultants - Planners
87 N.E. 44th ST. - FT. LAUDERDALE, FLORIDA
phone: (305) 491-8962



January 18, 2024

GZ J IDKV'SF \$



ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D1

Action Required: Update

Item Description: Pump Station Improvements

P.A.I.D. Number: D1707.01

Attachments: None

Summary: A Notice to Proceed was issued on August 8, 2023. The manufacturing process has commenced for Pumps 1, 2, 4, 5, and 6, with MWI Pumps.

Comments: N/A

Prepared by: BMP Date: 01/18/24

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D2

Action Required: Update

Item Description: Portable Auxiliary Pump

P.A.I.D. Number: D2312.01

Attachments: None

Summary: Per the discussion of the Board at the December meeting, a portable auxiliary pump was approved to serve not only the South Acres, but the entire District during and/or thereafter significant rainstorm events and for potential emergencies as needed.

The pump was ordered through MWI Pumps and is estimated to be delivered in 12-16 weeks.

Recommendation: N/A

Comments: _____

Prepared by: BMP Date: 01/18/24

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D3

Action Required: Update

Item Description: Offsite Improvements for North Acres Park

P.A.I.D. Number: D2308.03

Attachments: 11" x 17" Paving and Drainage Plan

Summary: The Board approved the project plans at last month's meeting. The project is currently under review with permitting agencies. Permits are expected to be issued within 60-90 days.

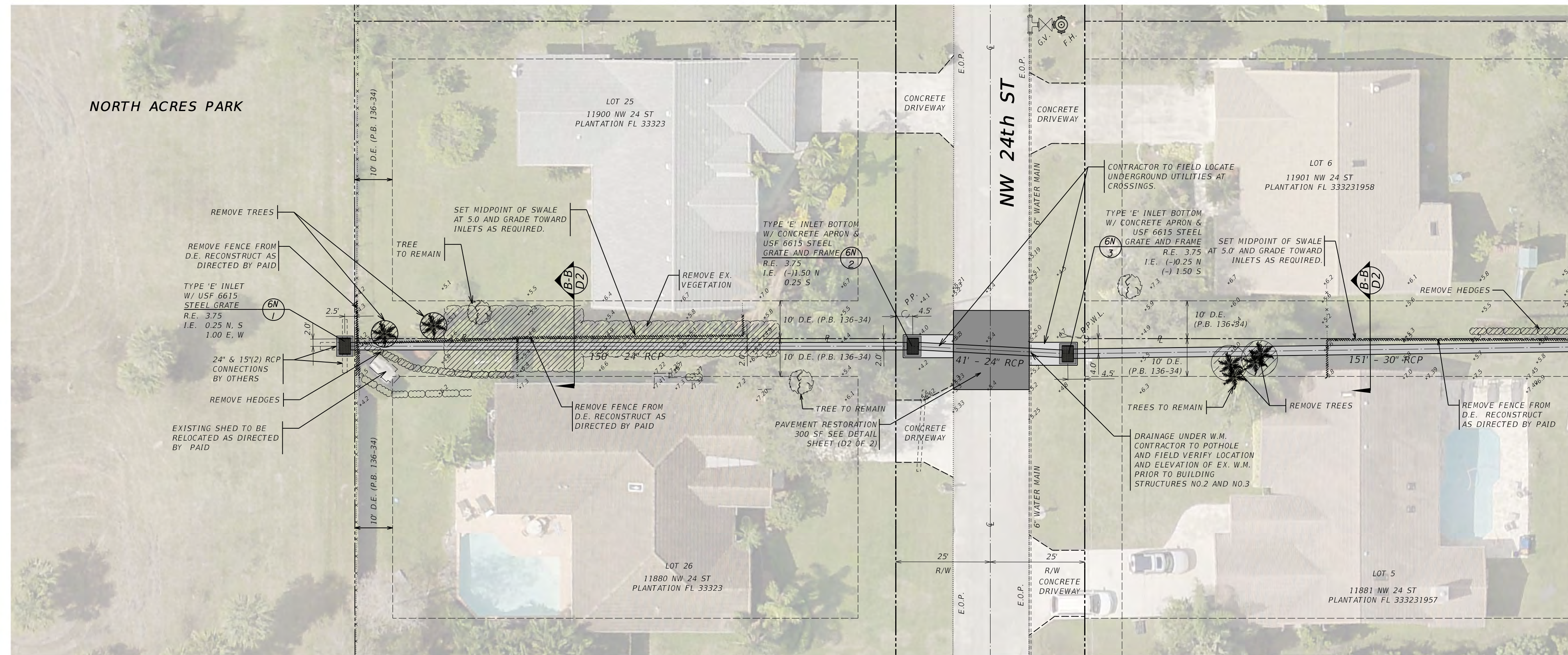
A neighborhood meeting for all residents shall be scheduled to discuss the plans and the logistics and shall be held at the District Headquarters.

This item has been placed on the Agenda for discussion.

Recommendation: N/A

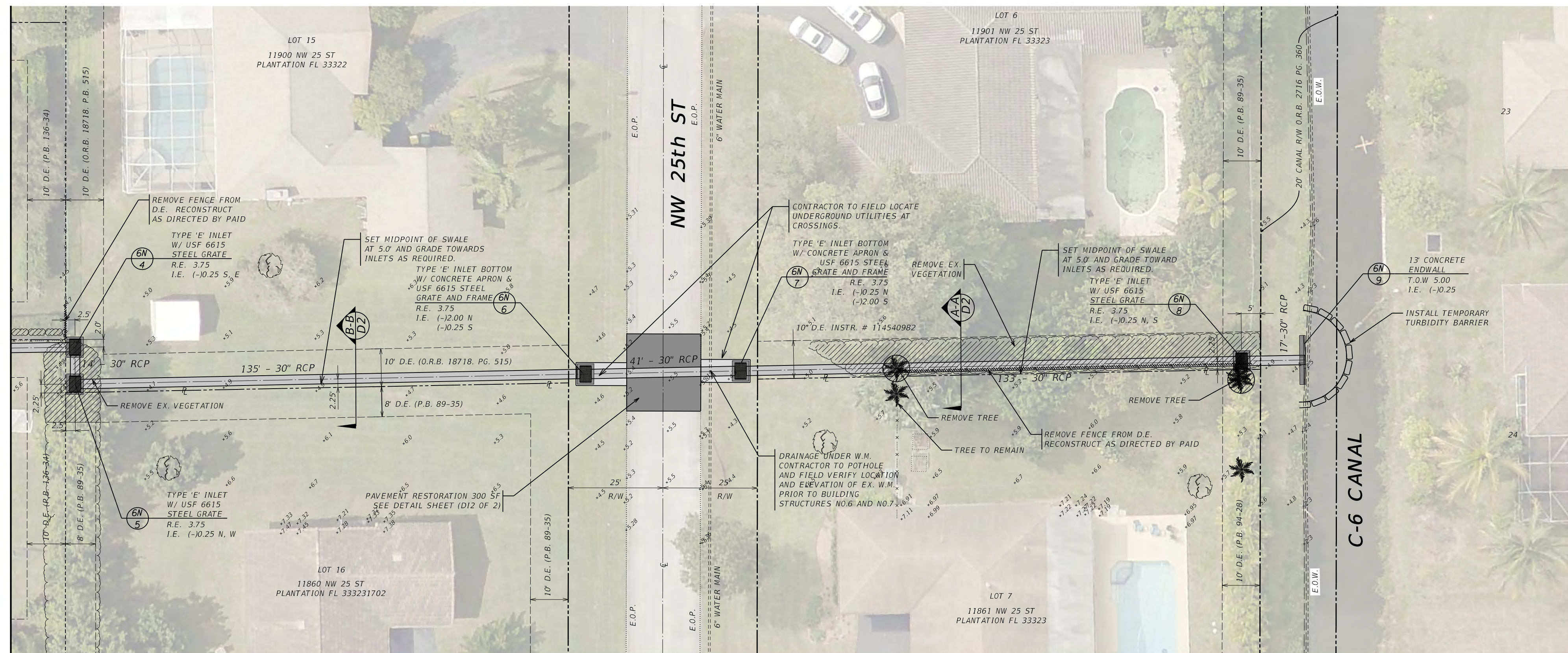
Comments: _____

Prepared by: BMP Date: 1/18/24



NOTE: AERIAL IMAGERY SHOWN FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED TO DEPICT CURRENT SITE CONDITIONS

MATCH-LINE



MATCH-LINE

LEGEND			
	DRAINAGE PIPE		TYPICAL TREE
	DRAINAGE CENTER LINE		TYPICAL PALM
	DRAINAGE EASEMENT		VEGETATION LINE
	ROAD R/W		TYPICAL HEDGE
	CENTER LINE R/W		PAVEMENT RESTORATION
	EDGE OF PAVEMENT		PROPOSED INLET
	WATER MAIN		CROSS-SECTION ID
	PROPERTY LINE		DETAIL SHEET ID
	EDGE OF WATER		WATER METER
	CONTOUR LINE		POWER POLE WITH LIGHT
	OVERHEAD ELECTRIC		POWER POLE
	BURIED TELEPHONE		PROPERTY LINE
	DRAINAGE STRUCTURE I.D.		CENTER LINE
			EXISTING SPOT ELEVATION
			PROPOSED GRADE
			REMOVE LANDSCAPING
			REMOVE FENCE

ABBREVIATIONS			
B.T.	BURIED TELEPHONE	P.A.I.D.	PLANTATION ACRES IMPROVEMENT DISTRICT
C.L.	CENTER LINE	P.B.	PLAT BOOK
C.L.	CHAIN LINK	P.P.	POWER POLE
D.E.	DRAINAGE EASEMENT	P.P.W.L.	POWER POLE WITH LIGHT
D.W.E.	DESIGN WATER ELEVATION	PROP.	PROPOSED
E.O.P.	EDGE OF PAVEMENT	R.C.P.	REINFORCED CONCRETE PIPE
E.O.W.	EDGE OF WATER	R/W	RIGHT-OF-WAY
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	R.E.	RIM ELEVATION
I.E.	INVERT ELEVATION	S.H.	SPRINKLER HEAD
M.W.	WATER METER	T.O.W.	TOP OF WALL
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	U.E.	UTILITY EASEMENT
O.E.	OVERHEAD ELECTRIC	USF	U.S. FOUNDRY
O.R.B.	OFFICIAL RECORDS BOOK	W.M.	WATER MAIN
G.V.	GATE VALVE	F.H.	FIRE HYDRANT

- NOTES:**
- CONTRACTOR TO NOTIFY UTILITY COMPANIES PRIOR TO DRAINAGE SYSTEM INSTALLATIONS. UNDERGROUND UTILITIES TO INCLUDE FLORIDA POWER AND LIGHT, BELLSOUTH (AT&T), COMCAST CABLE AND PLANTATION UTILITIES.
 - PIPE LENGTHS SHOWN ARE COMPUTED TO THE CENTER OF THE INLET/MANHOLE.
 - MINOR ADJUSTMENTS SHOULD BE MADE TO THE LOCATION OF NEW DRAINAGE TO AVOID CONFLICTS, WITH THE APPROVAL OF THE ENGINEER.
 - CONTRACTOR TO PROVIDE A MAINTENANCE OF TRAFFIC (MOT) PLAN.
 - CONTRACTOR TO CONTACT THE CITY OF PLANTATION PUBLIC WORKS DEPARTMENT TO COORDINATE MINIMUM DISRUPTIONS TO THE GARBAGE COLLECTION SERVICE.
 - PRIOR TO EXCAVATION, CONTRACTOR SHALL RUN THE PRIVATE IRRIGATION SYSTEMS AND RECORD THE LOCATION OF ALL SPRINKLER HEADS FOR PROPER RESTORATION.
 - WATER SERVICE LINES IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED, REPLACED, AND/OR RELOCATED AS REQUIRED WITHOUT PROLONGED INTERRUPTION OF SERVICE. NO NEW TAPS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM PLANTATION UTILITIES DEPARTMENT.
 - COORDINATE FENCE RELOCATION WITH DISTRICT STAFF NO LESS THAN 3 WEEKS PRIOR SCHEDULED CONSTRUCTION.
 - ANY TREES, BUSHES AND SHRUBS IN THE IMMEDIATE VICINITY OF THE EXCAVATION FOR THE DRAINAGE WORKS SHALL BE REMOVED TO GROUND LEVEL BY THE DISTRICT STAFF.
 - ALL ROOTS, ROOT BALLS, OR STUMPS IMPACTING THE EXCAVATION FOR THE DRAINAGE WORKS SHALL BE REMOVED BY THE CONTRACTOR, AS REQUIRED.



Know what's below.
Call before you dig.



NO.	REVISIONS	DATE	NO.	REVISIONS	DATE

DESIGNED: BMP DATE: 10/2023
 DRAWN: AFA DATE: 10/2023
 CHECKED: BMP DATE: 11/2023

WINNINGHAM & FRADLEY
 ENGINEERS • PLANNERS • SURVEYORS
 171 N.E. 44th STREET • OAKLAND PARK, FL 33324
 OFFICE: 954.771.7440 • FAX: 954.771.0208 • WWW.WINFRAD.COM

OFF-SITE IMPROVEMENTS FOR NORTH ACRES PARK
 PLANTATION ACRES IMPROVEMENT DISTRICT

DRAINAGE LATERAL "6N"
PLAN

PUBLISHED: 12/6/2023, 2:35:39 PM
 PROJECT NUMBER: D2308.03
 SHEET: D1 OF 2

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D4

Action Required: Update

Item Description: SW 118th Ave. Drainage Improvements

P.A.I.D. Number: D2308.04-2

Attachments: 8-1/2" x 11" Engineer's Cost Estimate
11" x 17" Construction Plans - Progress Set

Summary: This project was approved by the Board in September 2023 for District Staff to perform proposed drainage improvements on SW 118th Avenue from SW 1st Court to the C-1 canal.

The proposed drainage improvements include the following: Removing topsoil and fill, cutting and grading swales, and installing sod as necessary.

The construction plans are near completion and will be ready for Board Approval at next month's meeting.

Comments: N/A

Prepared by: BMP Date: 01/18/24

ENGINEER'S COST ESTIMATE

SW 118th AVE DRAINAGE IMPROVEMENTS (AT SW 1ST CT.)

PROJECT NUMBER D2308.04-2

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
W1-6	Turbidity barrier:	30	L.F.	\$20.00	\$600.00
S1-1	Clearing	1	L.S.	\$3,000.00	\$3,000.00
S1-3	Sodding	1,870	S.Y.	\$10.50	\$19,635.00
S1-4	Earthwork	625	C.Y.	\$10.00	\$6,250.00
M1-4	Mobilization & Demobilization	1	L.S.	\$5,000.00	\$5,000.00
	Subtotal:				\$34,485.00
S-1	Survey/Staking	3	%		\$1,034.55
C1-1	Maintenance of Traffic (MOT)	2	%		\$689.70
C1-2	Performance Bond	3	%		\$1,034.55
C1-3	Permitting and Certifications	3	%		\$1,034.55
E1-3	Inspections	3	%		\$1,034.55
	Contingencies	10	%		\$3,448.50
TOTAL ESTIMATED COST:					\$42,761.40

PREPARED BY:

WINNINGHAM AND FRADLEY
ENGINEERS AND SURVEYORS

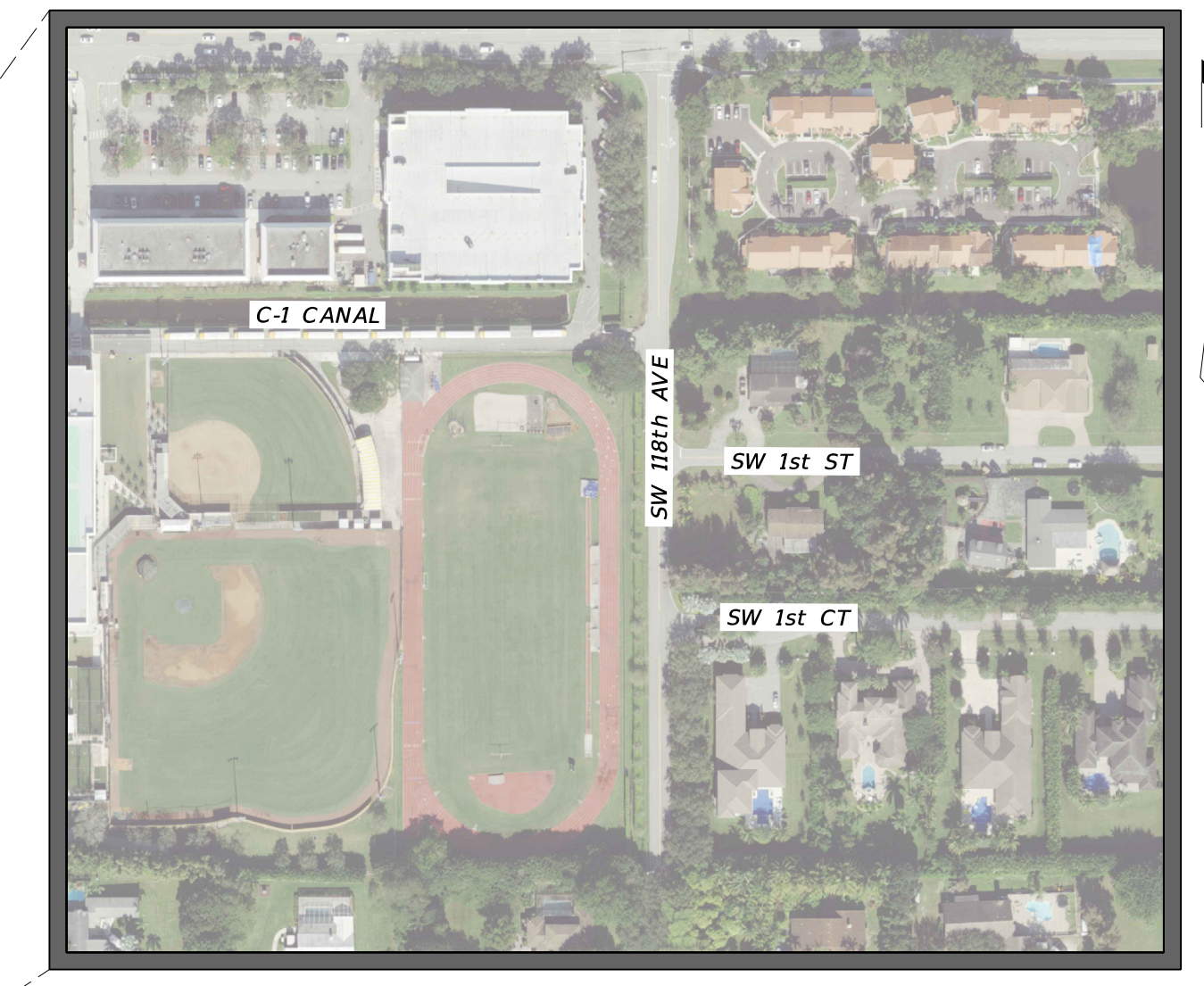
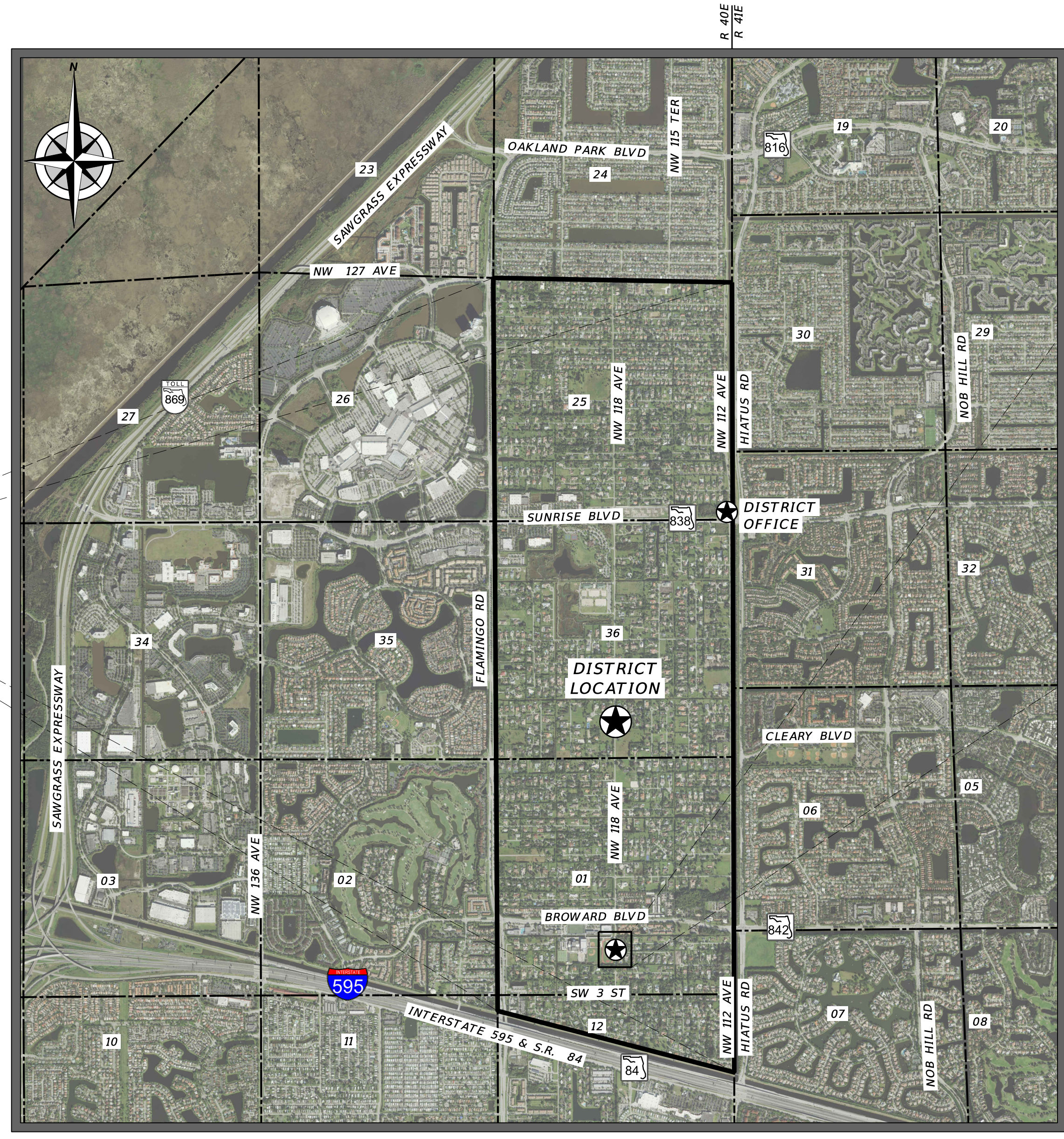
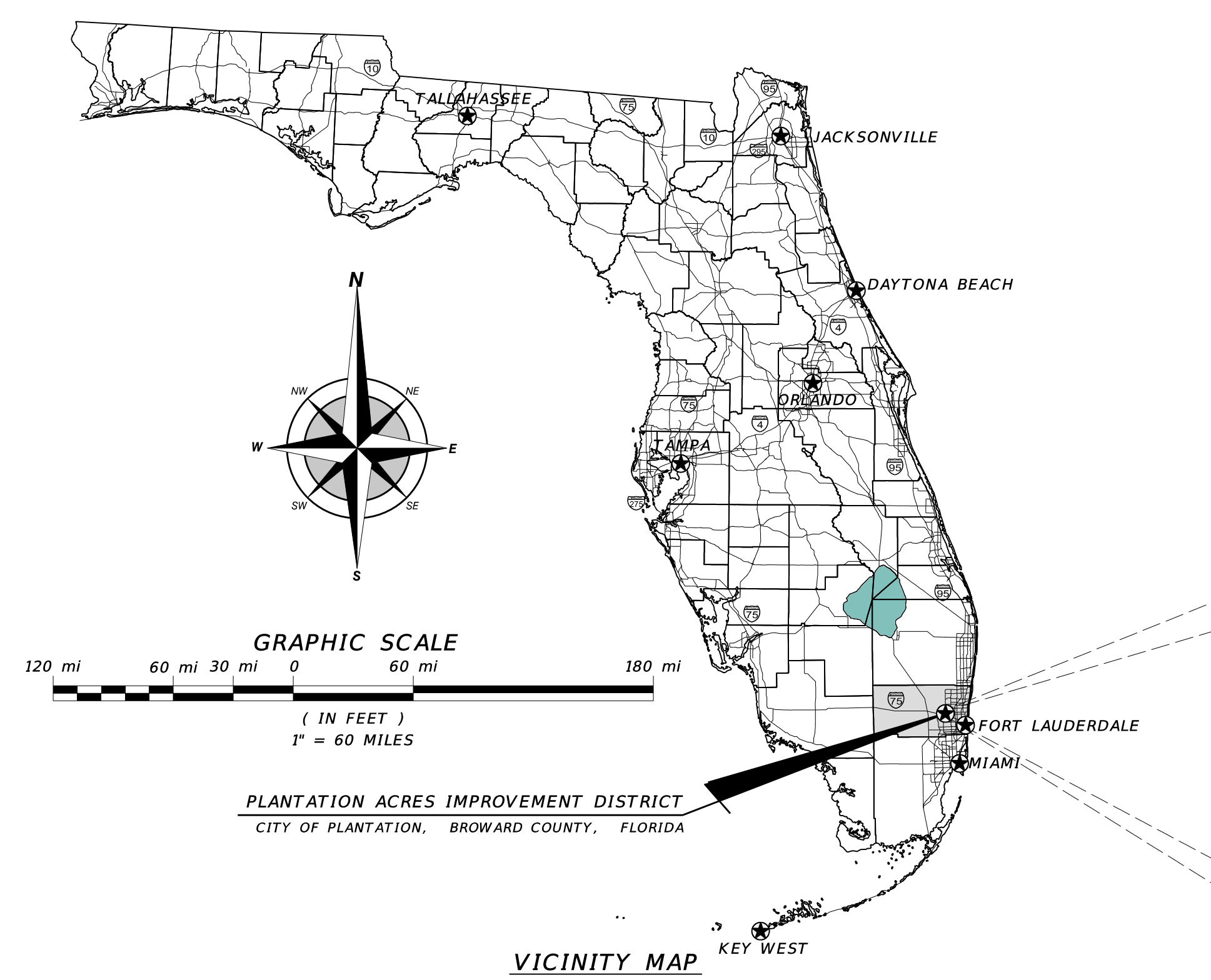
PROJECT NUMBER: D2308.04-1

JANUARY 18, 2024

SW 118TH AVENUE SWALE (AT SW 1ST COURT)

PLANTATION ACRES IMPROVEMENT DISTRICT

CITY OF PLANTATION, BROWARD COUNTY, FLORIDA



INDEX TO SHEETS

DESCRIPTION	SHEET NUMBER
GENERAL NOTES & SPECIFICATIONS	GN1 OF 1
TEMPORARY POLLUTION PREVENTION - DETAILS	TPP1 OF 1
DRAINAGE IMPROVEMENT - PLAN	D1 OF 1

PERMITTING AGENCIES	SUBMITTED	APPROVED	PERMIT No.	EXPIRES
CITY OF PLANTATION				
S.F.W.M.D. ERP				
S.F.W.M.D. WATER USE				
N.P.D.E.S.				

NOTE:
 IF ALL THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, THIS SET OF DRAWINGS SHOULD NOT BE USED FOR CONSTRUCTION.

DRAINAGE IMPROVEMENTS PLAN

PROGRESS SET



GENERAL PROJECT NOTES

- 1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- 2. THE LOCATIONS OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPING, AND SURVEY MARKERS.
- 4. THE CONTRACTOR AND/OR HIS SUPERINTENDENT SHALL MAINTAIN A MINIMUM OF ONE (1) COPY OF EACH OF THE FOLLOWING PUBLICATIONS ON THE JOB SITE DURING CONSTRUCTION OF THIS PROJECT:
 - A. F.D.O.T. - STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.
 - B. F.D.O.T. - ROADWAY AND TRAFFIC DESIGN STANDARDS, 2010 EDITION.
 - C. U.S. DEPARTMENT OF TRANSPORTATION - FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 EDITION.
 - D. BROWARD COUNTY "MINIMUM STANDARDS" APPLICABLE TO PUBLIC RIGHTS OF WAY UNDER BROWARD COUNTY JURISDICTION, OCTOBER 25, 2005 OR LATEST REVISION.

GENERAL SPECIFICATIONS

- 1. APPLICABLE CODES
 - A. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE PLANTATION ACRES IMPROVEMENT DISTRICT, AND ALL OTHER LOCAL, STATE, AND NATIONAL CODES WHERE APPLICABLE.
 - B. ALL PAVEMENT CROSSINGS WITHIN LIMITS OF PUBLIC RIGHTS OF WAY UNDER LOCAL JURISDICTION SHALL CONFORM WITH THE PUBLIC WORKS DEPARTMENT MINIMUM STANDARDS, LATEST EDITION. ALL CONSTRUCTION WITHIN LIMITS OF FLORIDA DEPARTMENT OF TRANSPORTATION SHALL CONFORM WITH F.D.O.T. DESIGN STANDARDS 2008.
 - C. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
 - D. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NATIONAL GEODETICAL VERTICAL DATUM OF 1929, (N.G.V.D.), UNLESS OTHERWISE NOTED.
- 2. PRECONSTRUCTION RESPONSIBILITIES
 - A. UPON THE RECEIPT OF THE "NOTICE TO PROCEED," THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
 - B. THE CONTRACTOR SHALL OBTAIN AN U.N.C.L.E. CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. PRIOR TO ANY CONSTRUCTION ACTIVITY, CALL 811.
 - C. ALL UTILITY EASEMENTS AND RIGHT-OF-WAY TO BE SECURED PRIOR TO CONSTRUCTION. (IF REQUIRED)
 - D. ALL APPLICABLE CONSTRUCTION PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- 3. INSPECTIONS
 - A. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AND OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO THE BEGINNING CONSTRUCTION AND PRIOR TO THE FOLLOWING ITEMS, WHERE APPLICABLE:
 - 1. CLEARING AND FILLING
 - 2. STORM DRAINAGE SYSTEM
 - 3. ROADWAY RESTORATION
- 4. SHOP DRAWINGS
 - A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF PLANTATION FOR THE FOLLOWING ITEMS: SANITARY MANHOLES, CATCH BASINS, FIRE HYDRANTS, VALVE AND ALL REQUIRED ACCESSORIES.
- 5. TEMPORARY FACILITIES
 - A. TEMPORARY FACILITIES:
 - 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY FOR NO ADDITIONAL COST TO THE OWNER FOR THEIR EMPLOYEES.
 - B. TRAFFIC REGULATION
 - 1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH M.U.T.C.D.
 - 2. ALL OPEN TRENCHES AND EXCAVATIONS ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

- 3. NO TRENCHES OR EXCAVATIONS NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF PLANTATION.
- 4. IF ROAD CLOSURES ARE REQUIRED, THE CONTRACTOR SHALL CONTACT THE LOCAL POLICE DEPARTMENT OFFICE TO COORDINATE THE APPROPRIATE ACTION.

C. MATERIAL AND EQUIPMENT STORAGE AREAS

- 1. THE CONTRACTOR SHALL SELECT THE SUITABLE LOCATION OF TEMPORARY STORAGE SITES.
- 2. PROOF OF PERMISSION FOR THE USE OF PRIVATE PROPERTY SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO THE START OF THE PROJECT.

6. PROJECT CLOSEOUT

- A. CLEANING UP:
 - 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
 - 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THE END, THE CONTRACTOR SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
 - 3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN CLEAN AND NEAT CONDITION.
- B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- C. ALL UNPAVED SURFACES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- D. PROJECT RECORD DOCUMENTS
 - 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS. ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
 - 2. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.
 - 3. ALL "AS-BUILT" INFORMATION ON PLANS SHALL BE CERTIFIED BY A PROFESSIONAL SURVEYOR AND MAPPER REGISTERED IN THE STATE OF FLORIDA.

7. EARTHWORK AND COMPACTION

- A. ALL ORGANIC AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED UNDER THESE AREAS TO BE PAVED AND FOR THE FULL WIDTH OF THE RIGHT-OF-WAY.
- B. SUITABLE BACKFILL SHALL BE USED AND COMPACTED AS DIRECTED BY THE ENGINEER OF RECORD. ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED TO 98% STANDARD PROCTOR ON THIS PROJECT. TESTING SHALL BE VERIFIED BY TESTING COMPANY.

8. PAVING

- A. GENERAL:
 - 1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
 - 2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
 - 3. FOR ANY PROPOSED CONNECTIONS, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- B. MATERIAL:
 - 1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI COLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
 - 2. ASPHALT SURFACES SHALL BE S-3 ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS.

C. INSTALLATION:

- 1. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180). SHALL BE MIN. 12" THICKNESS, MIN. L.B.R. 40.
- 2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL HAVE A MINIMUM THICKNESS OF 8" PLACED ON A SINGLE LAYER FOR STREETS. (6 INCHES FOR DRIVEWAYS AND DESIGNATED PARKING AREAS).
- 3. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- 4. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR ASPHALTIC CONCRETE.

D. TESTING:

- 1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- 3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS WHICH ARE TO BE PAID BY THE CONTRACTOR.

E. DRAINAGE SYSTEM:

- 1. ALL DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO A.S.T.M. C76-70 OR A.S.T.M. C-1450.
- 2. THE DRAINAGE SYSTEM HAS BEEN DESIGNED USING REINFORCED CONCRETE PIPE (R.C.P.). NO ALTERNATIVES WILL BE USED.
- 3. THE CONTRACTOR SHALL NOTIFY THE PLANTATION ACRES IMPROVEMENT DISTRICT 24 HOURS PRIOR TO CONSTRUCTION AT (954) 474-3092.

9. PAVEMENT MARKINGS

- A. PROVIDE AND INSTALL ALL NECESSARY PAVEMENT MARKINGS AND SIGNS IN ACCORDANCE WITH THE "MANUAL OF OPERATIONS STANDARDS," FLORIDA DEPARTMENT OF TRANSPORTATION, AND THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.), UNITED STATES DEPARTMENT OF TRANSPORTATION. ALL TRAFFIC SIGNS SHALL BE FULLY REFLECTORIZED.
- B. ALL PAVEMENT MARKINGS SHALL BE F.D.O.T. THERMOPLASTIC WITH RAISED REFLECTIVE MARKERS. PLEASE REFER TO PLANS.
- C. THE PAVEMENT MARKINGS (PAINT) SHALL BE APPLIED TO THE FIRST INCH OF ASPHALT WITHIN ONE CALENDAR DAYS AFTER THE APPLICATION OF THE ASPHALT.
- D. ALL SIGNS SHALL HAVE HIGH INTENSITY SHEETING.

MAINTENANCE OF TRAFFIC

REFER TO F.D.O.T. INDEX 600-670 (TRAFFIC CONTROL THROUGH WORK ZONES) FOR MAINTENANCE OF TRAFFIC.

TEMPORARY POLLUTION PREVENTION

REFER TO F.D.O.T. INDEX 102-103 FOR TEMPORARY POLLUTION PREVENTION SYSTEM DETAILS.

NO.	REVISIONS	DATE	NO.	REVISIONS	DATE

DESIGNED: BMP DATE: 01/2024
 DRAWN: MDB DATE: 01/2024
 CHECKED: BMP DATE: 01/2024

WINNINGHAM & FRADLEY
 ENGINEERS • PLANNERS • SURVEYORS
 111 N.E. 44th STREET • OAKLAND PARK, FL 33334
 office: 954.771.7440 • fax: 954.771.0208 • www.winfrad.com

SW 118th AVENUE SWALE (AT SW 1st COURT)
 PLANTATION ACRES IMPROVEMENT DISTRICT

GENERAL NOTES AND SPECIFICATIONS

PUBLISHED: 1/18/2024, 3:35:31 PM
 PROJECT NUMBER: D2308.04-2 SHEET: GN1 OF 1



\\PADO\Projects\10\2023\02\30824\2\SW 118th Ave Swale (at SW 1st Court)\CAD\PDF\02-General Notes 01.dwg(10)

CONTRACTOR'S REQUIREMENTS

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN IN ADDITION TO THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANT TO RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALE/DIKES AND SEDIMENT BASIN.
4. CONSTRUCT SEDIMENTATION BASIN.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCK PILE TOP SOIL IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENIED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
9. INSTALL UTILITIES: STORM SEWER, CURBS & GUTTERS
10. APPLY BASE TO PROJECT.
11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
12. REMOVE ACCUMULATED SEDIMENT FROM BASINS.
13. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALE/DIKES AND RESEED/SOD AS REQUIRED.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE LEATH Dikes/Swales WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SPECIFIED IN THE EROSION AND TURBIDITY CONTROL NOTES. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS AS SPECIFIED IN THE EROSION AND TURBIDITY CONTROL NOTES AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROL

1. INSTALL TURBIDITY SCREENS IN LAKE AS INDICATED. PER SF.WAQD. CRITERIA.
2. INSTALL ADDITIONAL SILT FENCE/WINDSCREEN AS NEEDED TO REDUCE WINDBLOWN EROSION.
3. PROVIDE MINIMUM 6" DEEP SWALE AROUND SITE PERIMETER TO CONTAIN SOIL EROSION ON-SITE. REGRADE SWALE DURING CONSTRUCTION AS REQUIRED TO MAINTAIN 6" SWALE.
4. CONSTRUCT A TEMPORARY MINIMUM 6" DEEP REVERSE BERM ALONG THE TOP OF LAKE BANK TO CONTAIN SURFACE WATER RUNOFF FROM ERODING THE LAKE BANK.
5. PROVIDE TEMPORARY CONSTRUCTION ACCESS ROAD WITH COMPACTED LIME ROCK AS SOON AS PRACTICAL.
6. PROVIDE FILTER FABRIC ON ALL DRAINAGE CATCH BASIN INLETS UNTIL FINAL LANDSCAPING IS IN PLACE.
7. TURBIDITY SCREENS SHALL NOT BE REMOVED UNTIL ALL AREAS AROUND INLETS HAVE BEEN GRADED & SODDED AND THE LAKE HAS MET STATE TURBIDITY STANDARDS
8. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ANY INTENSE RAINFALL OF GREATER THAN 0.5" AND REPAIR AS NECESSARY.

EROSION AND SEDIMENT CONTROL STABILIZATION PRACTICES

1. HAY BALE BARRIERS: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
 - D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE.
 - E. BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY TO THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREA WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
8. TEMPORARY SEEDING AREAS: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
10. TEMPORARY GRASSING: THE SEEDED OR SEEDDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING IN THE CONTRACT SPECIFICATIONS.
11. TEMPORARY REGASSING: IF AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 15 PERCENT GOOD GRASS COVER, THE AREA WILL BE REMOVED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE GOOD VEGETATIVE COVER.
12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
13. PERMANENT EROSION CONTROL: THE CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.
14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL AS A MINIMUM BE SEEDDED. THE SEEDING MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SODDED.

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKES: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE.
 - A. BLOCK & GRAVEL SEDIMENT FILTER: THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
 - B. GRAVEL SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCORPORATION OR DAMAGE TO ADJACENT STRUCTURE & UNPROTECTED AREAS.
 - C. DROP INLET SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAWS A RELATIVELY FLAT AREA (3:1 TO 1:1) AND WHERE SHEET OR OVERLAND FLOW (1:1 TO 0.5:1) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.
3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES AND HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASIN MUST PROVIDE A MINIMUM OF 3600 CUBIC FEET OF STORAGE PER ACRE DRAINAGE UNTIL FINAL STABILIZATION OF THE SITE. THE 3600 CUBIC FEET OF STORAGE AREA PER DRAINAGE DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. A TEMPORARY SEDIMENT BASIN CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. THE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD/DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE WILL BE COVERED WITH A TARP. (SEE DETAILS THIS SHEET)

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON-SITE DURING CONSTRUCTION:

- CONCRETE
- ASPHALT
- TAR
- DETERGENTS
- FERTILIZER
- WOOD
- PETROLEUM BASED PRODUCTS
- MASONRY BLOCKS
- CLEANING SOLVENTS
- PAINTS
- ROOFING MATERIALS
- METAL STUDS
-
-
-

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PERIOD.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON-SITE WILL BE IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND/OR POSSIBLE UNDER A ROOF OR OTHER ENCLOSURE.

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USE TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED IF THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

IF SURPLUS PRODUCT MUST BE DISPOSED OF BY MANUFACTURER'S OR LOCAL AGENCY RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC WILL BE FOLLOWED ON-SITE:

PETROLEUM PRODUCTS

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL BE INCLUDED BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (1/4 KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREA WILL BE KEPT VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ON-SITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 10 ACRES OF THE SITE WILL BE DENIED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPROVED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT FENCE POSTS ARE FIRMLY IN THE GROUND.

THE SEDIMENT BASIN WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST. OVERSTOCK DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A REPORT SHALL BE COMPLETED BY HIS/HER INSPECTOR OR ENGINEER OF RECORD.

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS.

THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

WATER FROM WATER LINE FLUSHING

PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

UNCONTAMINATED GROUND WATER (FROM DEWATERING EXCAVATION).

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

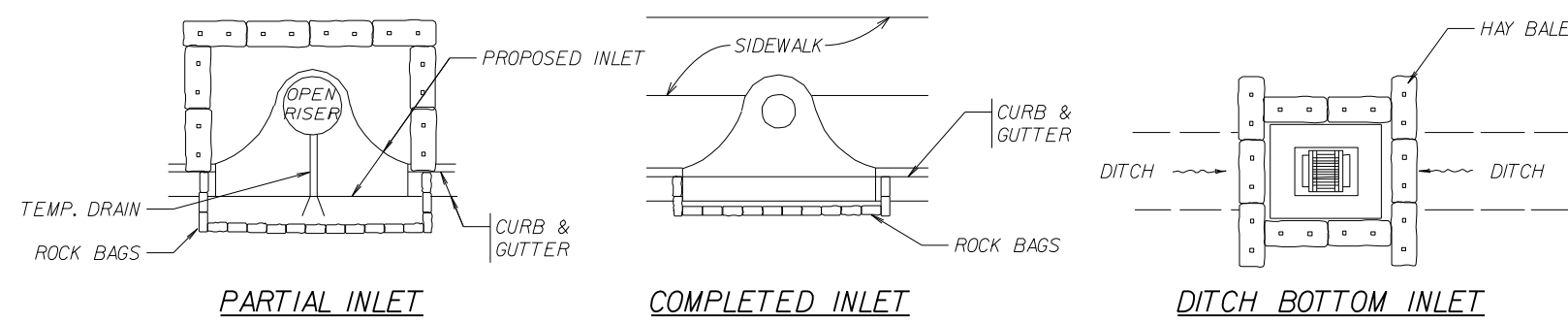
CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

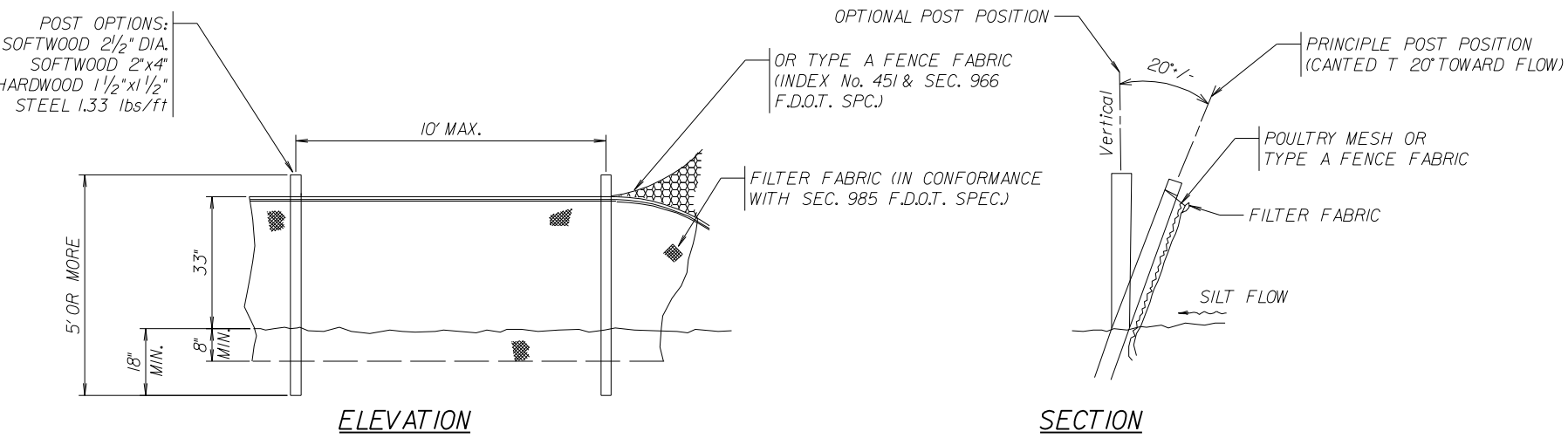
CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

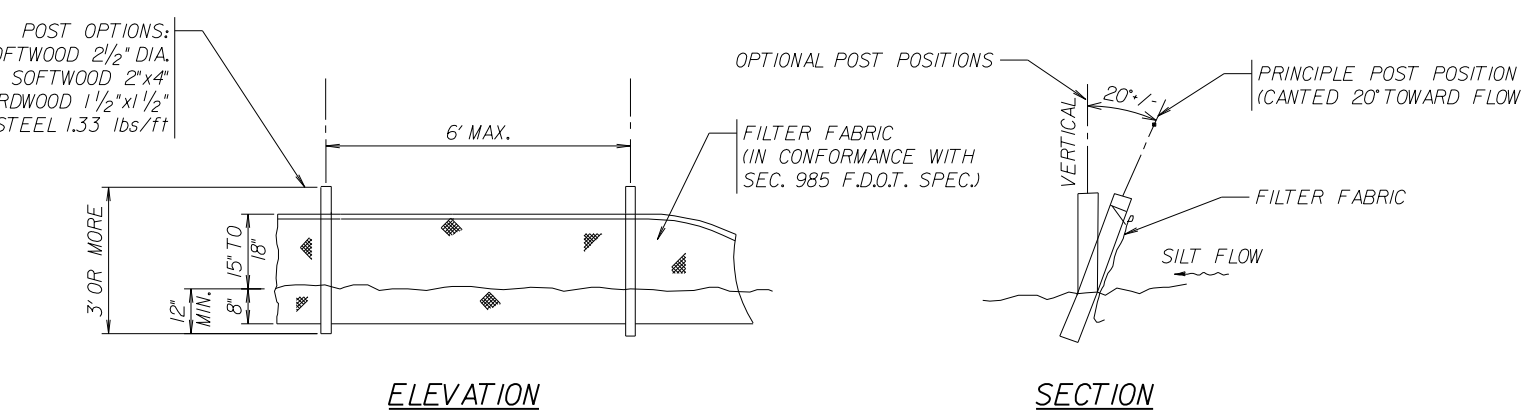
CONTRACTOR'S CERTIFICATION



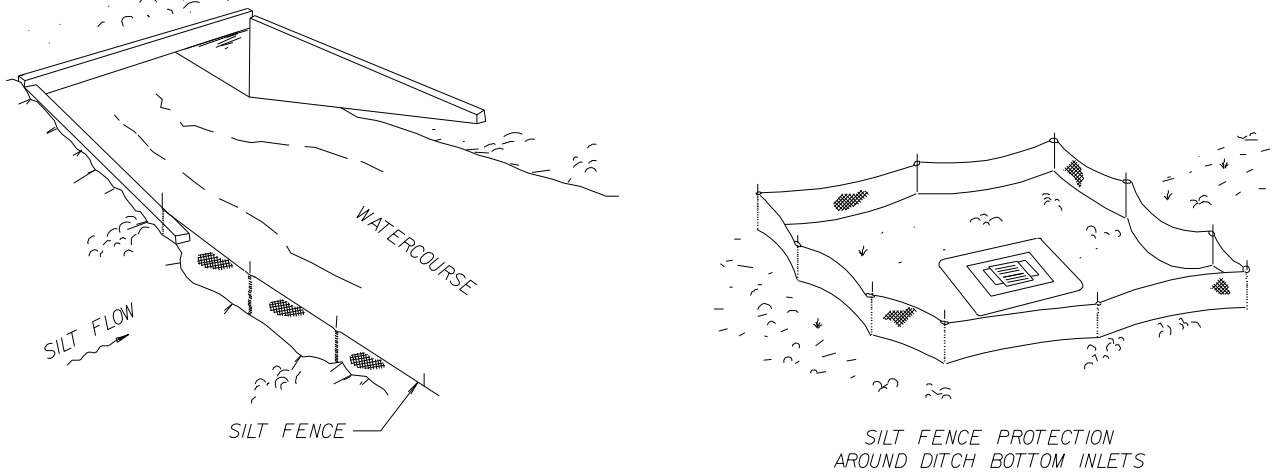
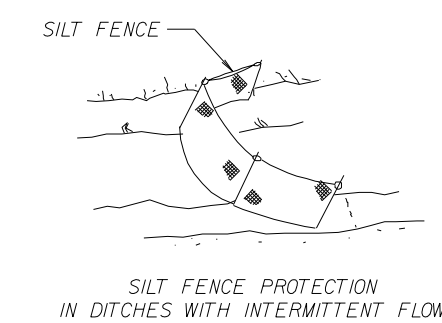
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



TYPE IV SILT FENCE



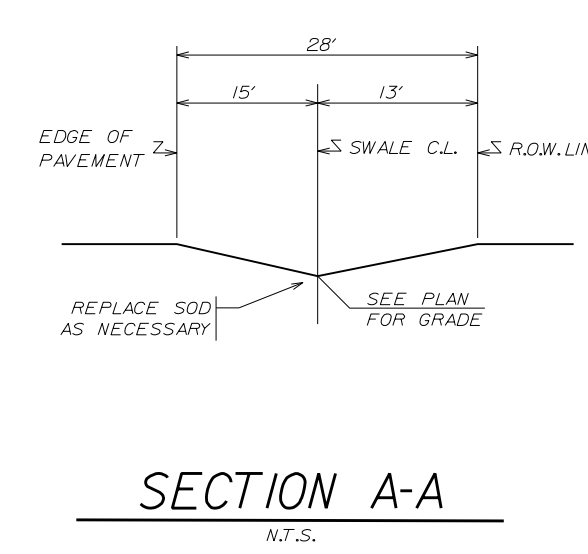
TYPE III SILT FENCE



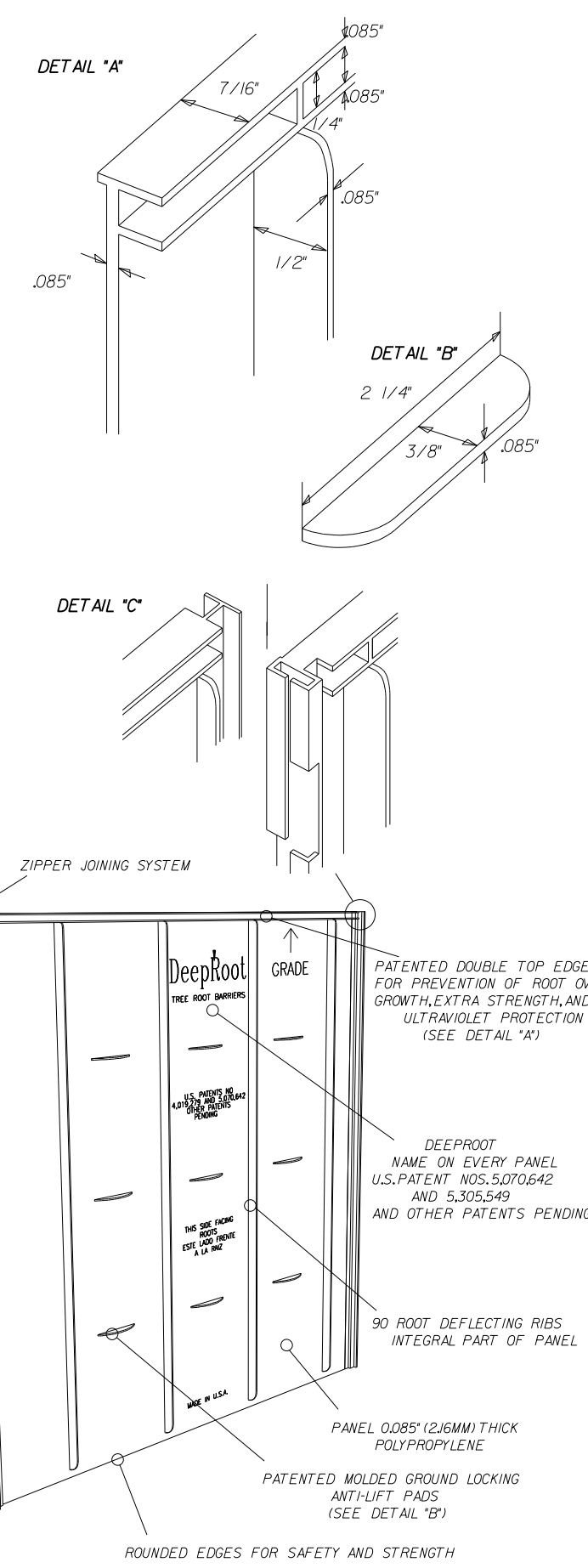
SILT FENCE APPLICATIONS

NOTES FOR SILT FENCES

1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1.
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON OR LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
5. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ST



GENERAL NOTES:
 SPECIFIED TREE ROOT BARRIERS ARE A MECHANICAL BARRIER AND ROOT DEFLECTOR TO PREVENT TREE ROOTS FROM DAMAGING HARDSCAPES AND LANDSCAPES. ASSEMBLED IN 2' LONG MODULES TO CREATE VARYING SIZES OF CYLINDERS FOR SURROUNDING ROOT BALLS (SURROUND PLANTING STYLE) OR LINEAR APPLICATIONS DIRECTLY BESIDE A HARDSCAPE ADJACENT TO ONE SIDE OF THE TREES (LINEAR PLANTING STYLE).
A. MATERIALS
 1. THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIERS AS SPECIFIED. THE TREE ROOT BARRIERS SHALL BE PRODUCT # UB 24-2 AS MANUFACTURED BY DEEP ROOT PARTNERS, LP, 345 LORTON AVE., #03, BURLINGAME, CA 1800-458-7668, OR APPROVED EQUAL.
 2. THE BARRIER SHALL BE BLACK, INJECTION MOLDED PANELS, OF 0.085" WALL THICKNESS IN MODULES 24" LONG BY 24" DEEP, MANUFACTURED WITH A MINIMUM 50% POST CONSUMER RECYCLED POLYPROPYLENE PLASTIC WITH ADDED ULTRAVIOLET INHIBITORS. RECYCLABLE. EACH PANEL SHALL HAVE:
 - NOT LESS THAN 4 MOLDED INTEGRAL VERTICAL ROOT DEFLECTING RIBS OF AT LEAST 0.085" THICKNESS PROTRUDING 1/2" AT 90° FROM INTERIOR OF THE BARRIER PANEL, SPACED 6" APART. (SEE PANEL DRAWING BELOW).
 - A DOUBLE TOP EDGE CONSISTING OF TWO PARALLEL INTEGRAL HORIZONTAL RIBS AT THE TOP OF THE PANEL OF A MINIMUM 0.085" THICKNESS, 7/16" WIDE AND 1/4" APART WITH THE LOWER RIB ATTACHED TO THE VERTICAL ROOT DEFLECTING RIBS. (SEE DETAIL 'A').
 - A MINIMUM OF 3 ANTI-LIFT GROUND LOCK TABS CONSISTING OF INTEGRAL HORIZONTAL RIDGES OF A MINIMUM 0.085" THICKNESS IN THE SHAPE OF A SEGMENT OF A CIRCLE, THE 2" CHORD OF THE SEGMENT JOINING THE PANEL WALL AND THE SEGMENT, PROTRUDING 3/8" FROM THE PANEL. THE NINE GROUND LOCK TABS ON EACH PANEL SHALL BE ABOUT EQUALLY SPACED BETWEEN EACH OF THE VERTICAL ROOT DEFLECTING RIBS (3 BETWEEN EACH SET OF RIBS, SEE DETAIL 'B').
 - AN INTEGRATED ZIPPER JOINING SYSTEM PROVIDING FOR INSTANT ASSEMBLY BY SLIDING ONE PANEL INTO ANOTHER. (SEE DETAIL 'C').
B. CONSTRUCTION AND INSTALLATION
 1. THE CONTRACTOR SHALL INSTALL THE TREE ROOT BARRIERS WITH THE NUMBER OF PANELS AND IN THE MANNER SHOWN ON THE DRAWINGS. THE VERTICAL ROOT DEFLECTING RIBS SHALL BE FACING INWARDS TO THE ROOT BALL AND THE TOP OF THE DOUBLE EDGE SHALL BE 1/2" ABOVE GRADE. EACH OF THE REQUIRED NUMBER OF PANELS SHALL BE CONNECTED TO FORM A CIRCLE AROUND THE ROOT BALL OR WHERE SPECIFIED JOINED IN A LINEAR FASHION AND PLACED ALONG THE ADJACENT HARDSCAPE.
 2. EXCAVATION AND SOIL PREPARATION SHALL CONFORM TO THE DRAWINGS.
 3. THE TREE ROOT BARRIERS SHALL BE BACKFILLED ON THE OUTSIDE WITH 3/4" TO 1 1/2" GRAVEL OR CRUSHED ROCK AS SHOWN ON THE DRAWINGS. NO GRAVEL BACKFILL IS REQUIRED FOR A LINEAR PLANTING.



LEGEND

PROPOSED PIPE	EXISTING TREE	EXISTING SEWER
DRAINAGE EASEMENT	EXISTING PALM	WATER METER
ROAD R/W	VEGETATION LINE	POWER POLE WITH LIGHT
CENTER LINE R/W	TYPICAL HEDGE	POWER POLE
EXISTING WATER MAIN	PAVEMENT RESTORATION	PROPERTY LINE
EXISTING FENCE	PROPOSED INLET	CENTER LINE
PROPERTY LINE	EXISTING INLET	EXISTING ELEVATION
EDGE OF WATER	EXISTING END SECTION	PROPOSED GRADE
CONTOUR LINE	EXISTING END SECTION	REMOVE LANDSCAPING
DRIVEWAY/PAVEMENT	DRAINAGE STRUCTURE I.D.	REMOVE FENCE
OVERHEAD ELECTRIC		
BURIED TELEPHONE		

ABBREVIATIONS

B.T. BURIED TELEPHONE	P.A.I.D. PLANTATION ACRES IMPROVEMENT DISTRICT
C.L. CENTER LINE	P.B. PLAT BOOK
C.L. CHAIN LINK	P.P. POWER POLE
D.E. DRAINAGE EASEMENT	P.P.W.L. POWER POLE WITH LIGHT
D.W.E. DESIGN WATER ELEVATION	PROP. PROPOSED
E.O.P. EDGE OF PAVEMENT	R.C.P. REINFORCED CONCRETE PIPE
E.O.W. EDGE OF WATER	R.E. RIM ELEVATION
FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	R/W RIGHT-OF-WAY
I.E. INVERT ELEVATION	S.H. SPRINKLER HEAD
M.W. WATER METER	T.O.W. TOP OF WALL
N.A.V.D. NORTH AMERICAN VERTICAL DATUM	TYP. TYPICAL
O.E. OVERHEAD ELECTRIC	U.E. UTILITY EASEMENT
O.R.B. OFFICIAL RECORDS BOOK	USF U.S. FOUNDRY
	W.M. WATER MAIN

- NOTES:**
- CONTRACTOR TO NOTIFY UTILITY COMPANIES PRIOR TO DRAINAGE SYSTEM INSTALLATIONS. UNDERGROUND UTILITIES TO INCLUDE FLORIDA POWER AND LIGHT, BELLSOUTH (AT&T), CONCAST CABLE AND CITY OF PLANTATION UTILITIES.
 - PIPE LENGTHS SHOWN ARE COMPUTED TO THE CENTER OF THE INLET/MANHOLE.
 - MINOR ADJUSTMENTS SHOULD BE MADE TO THE LOCATION OF NEW DRAINAGE TO AVOID CONFLICTS, WITH THE APPROVAL OF THE ENGINEER.
 - CONTRACTOR TO PROVIDE A MAINTENANCE OF TRAFFIC (MOT) PLAN.
 - CONTRACTOR TO CONTACT THE CITY OF PLANTATION PUBLIC WORKS DEPARTMENT TO COORDINATE MINIMUM DISRUPTIONS TO THE GARBAGE COLLECTION SERVICE, IF NECESSARY.
 - WATER SERVICE LINES IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED, REPLACED, AND/OR RELOCATED AS REQUIRED WITHOUT PROLONGED INTERRUPTION OF SERVICE. NO NEW TAPS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM PLANTATION UTILITIES DEPARTMENT.
 - ALL ROOTS, ROOT BALLS, OR STUMPS IMPACTING THE EXCAVATION FOR THE DRAINAGE WORKS SHALL BE REMOVED BY THE CONTRACTOR, AS REQUIRED.
 - ALL CONSTRUCTION DEBRIS TO BE HAUL OFF SITE.

2. THE BASIC PROPERTIES OF THE MATERIAL SHALL BE:

TEST	ASTM TEST METHOD	VALUE COPOLYMER POLYPROPYLENE
TENSILE STRESS @ YIELD	D638	3800 PSI
ELONGATION @ YIELD	D638	6.3%
FLEXURAL MODULUS	D790	155000 PSI
NOTCHED IZOD IMPACT	D256A	7J
ROCKWELL HARDNESS R, SCALE D95A		68

U.S. PATENTS: 5,305,549 AND 5,070,642, OTHER PATENTS PENDING.



24" DEEPROOT TREE ROOT BARRIERS

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D5

Action Required: Update

Item Description: NW 12th St. & NW 122nd Ave. Drainage Improvements

P.A.I.D. Number: D2308.05

Attachments: 8-1/2" x 11" Engineer's Cost Estimate
11" x 17" Construction Plans - Progress Set

Summary: This project was approved by the Board in September 2023 for proposed drainage improvements on NW 12th Street starting approximately 300 feet west of NW 122nd Avenue east to the C-4B canal.

The proposed drainage improvements include the following: Removing topsoil and fill, cutting and grading swales, installing catch basins and a manhole, pavement restoration, traffic markings, and installing sod as necessary.

The construction plans are near completion and will be ready for Board Approval at next month's meeting.

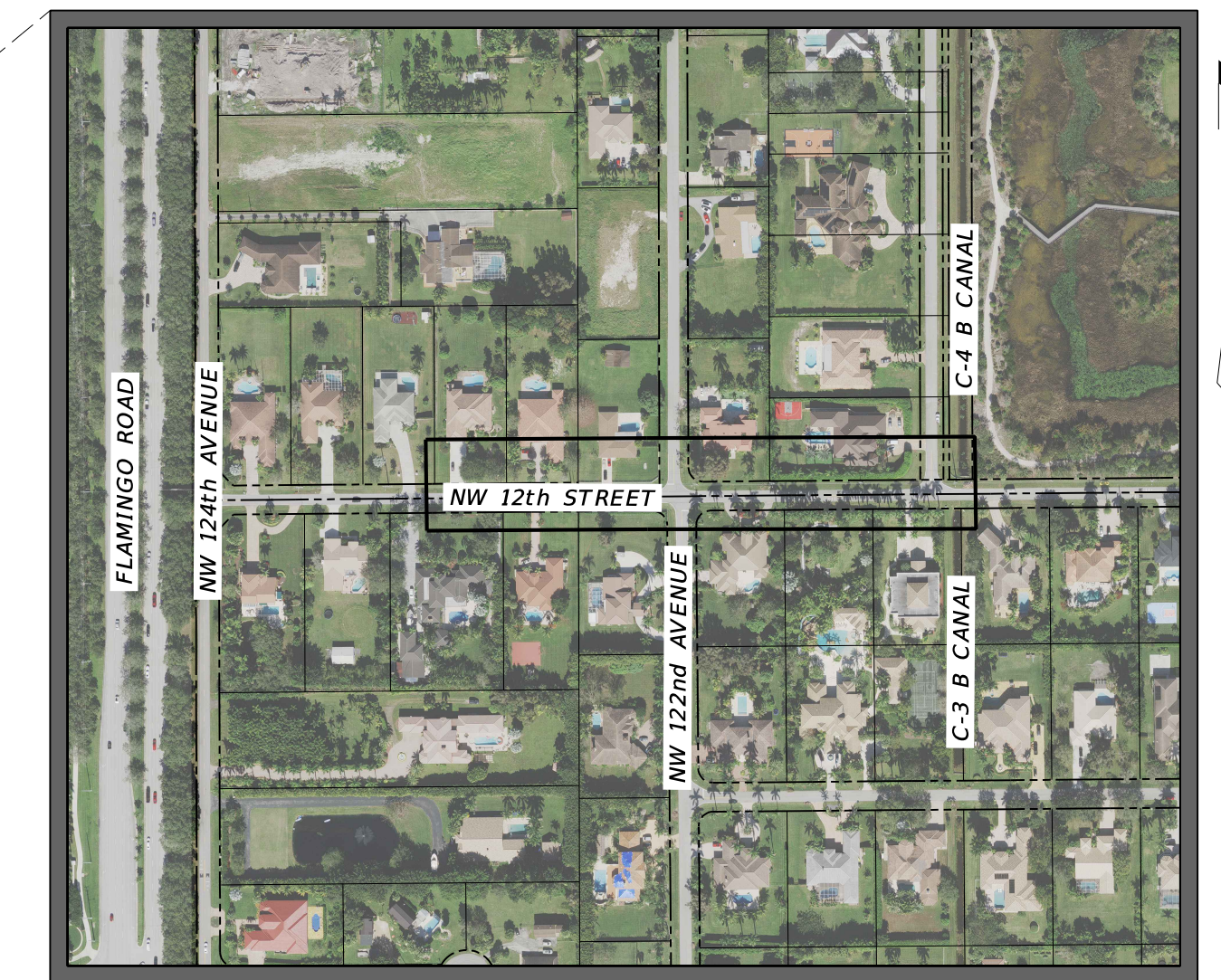
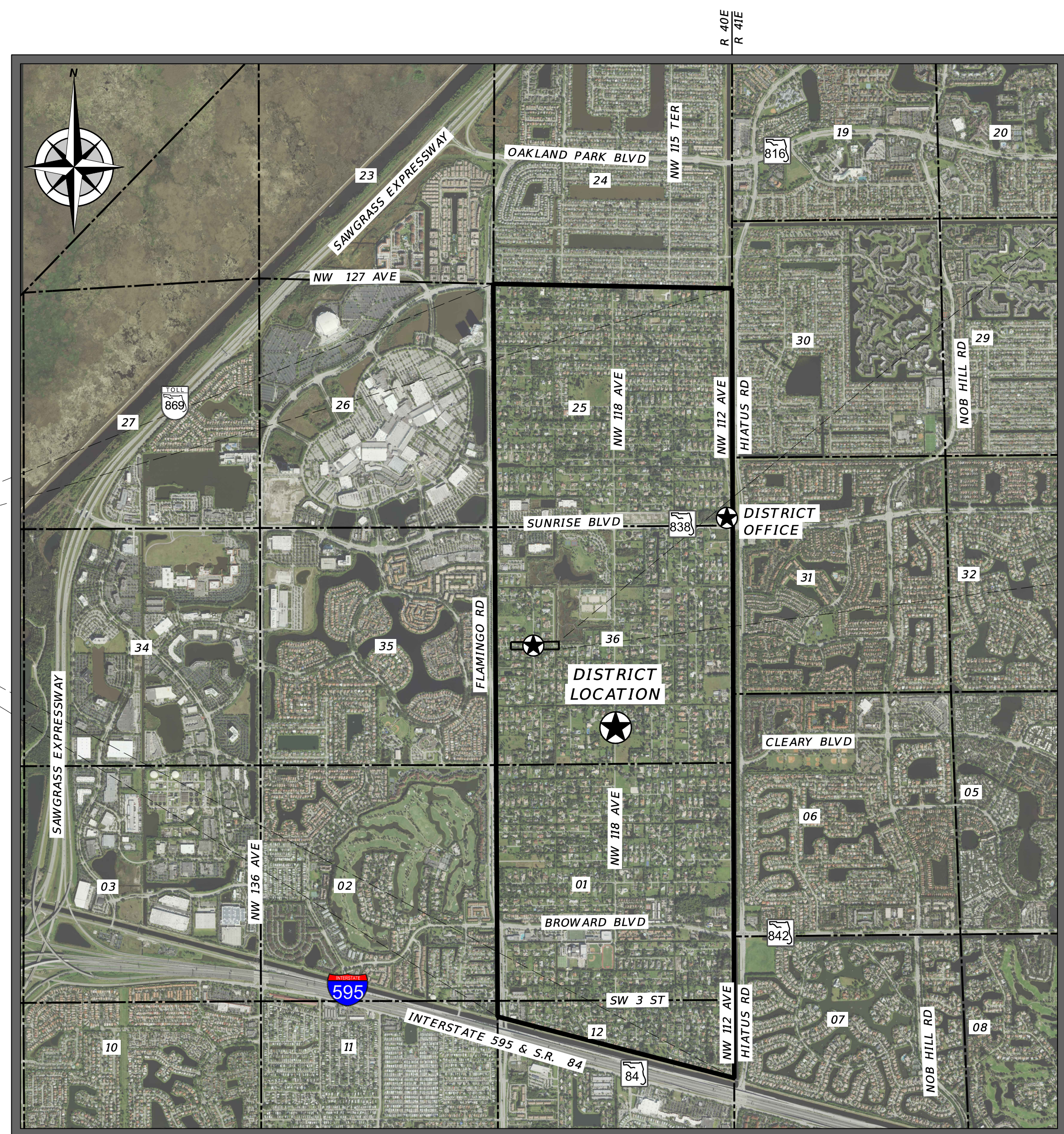
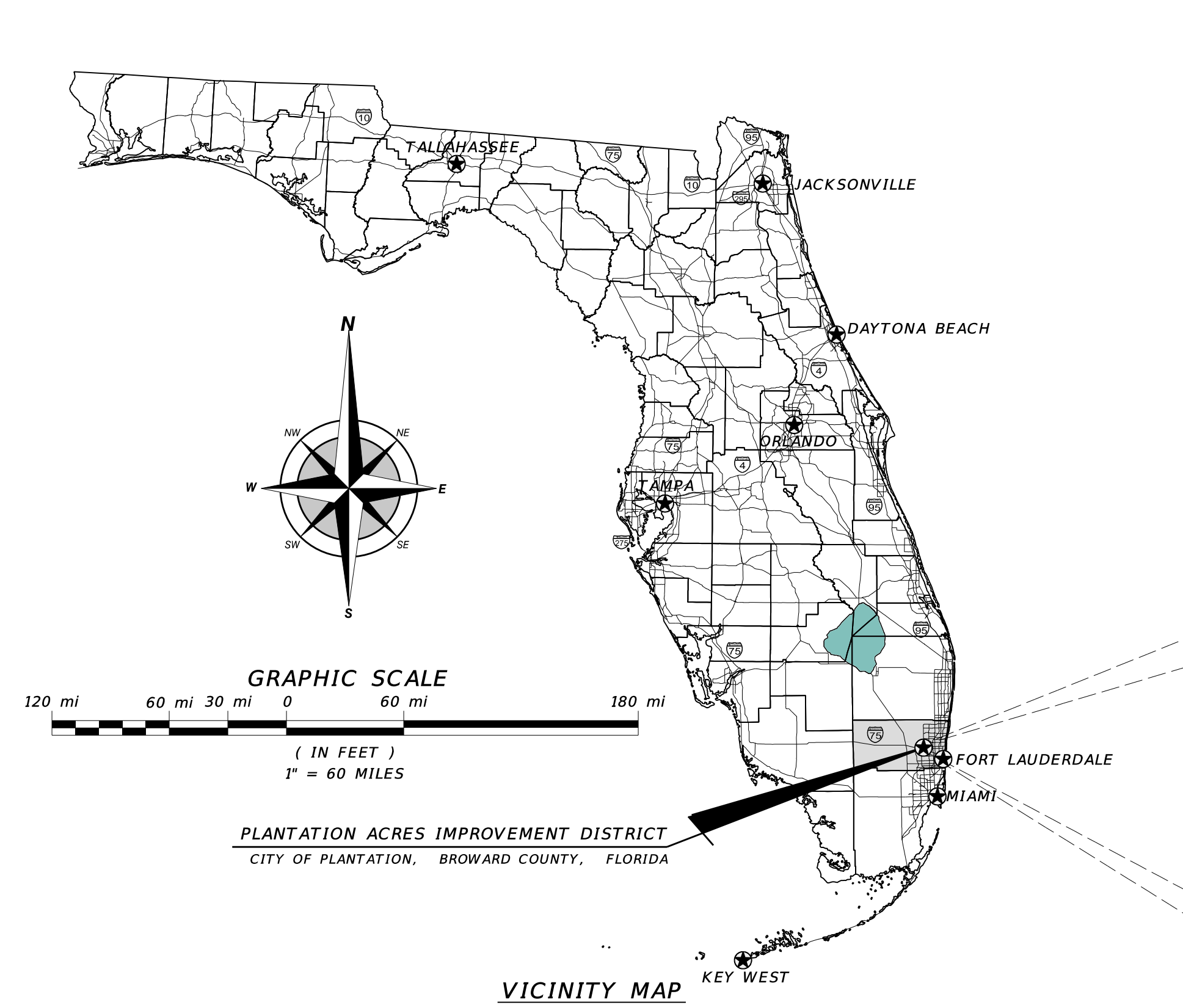
Comments: N/A

Prepared by: BMP Date: 01/18/24

NW 12TH ST & NW 122ND AVENUE IMPROVEMENTS

PLANTATION ACRES IMPROVEMENT DISTRICT

CITY OF PLANTATION, BROWARD COUNTY, FLORIDA



INDEX TO SHEETS

DESCRIPTION	SHEET NUMBER
GENERAL NOTES & SPECIFICATIONS	GN1 OF 1
TEMPORARY POLLUTION PREVENTION - DETAILS	TPP1 OF 1
DRAINAGE IMPROVEMENT - PLAN	D1 OF 2
DRAINAGE IMPROVEMENT - DETAILS	D2 OF 2
DRAINAGE SYSTEM - CONSTRUCTION DEWATERING PLAN	DW1 OF 1

PERMITTING AGENCIES	SUBMITTED	APPROVED	PERMIT No.	EXPIRES
CITY OF PLANTATION				
S.F.W.M.D. ERP				
S.F.W.M.D. CONSTRUCTION DEWATERING				
N.P.D.E.S.				

NOTE:
 IF ALL THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, THIS SET OF DRAWINGS SHOULD NOT BE USED FOR CONSTRUCTION.

DRAINAGE IMPROVEMENTS PLAN

PROGRESS SET



GENERAL PROJECT NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
2. THE LOCATIONS OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPING, AND SURVEY MARKERS.
4. THE CONTRACTOR AND/OR HIS SUPERINTENDENT SHALL MAINTAIN A MINIMUM OF ONE (1) COPY OF EACH OF THE FOLLOWING PUBLICATIONS ON THE JOB SITE DURING CONSTRUCTION OF THIS PROJECT:
 - A. F.D.O.T. - STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.
 - B. F.D.O.T. - ROADWAY AND TRAFFIC DESIGN STANDARDS, 2010 EDITION.
 - C. U.S. DEPARTMENT OF TRANSPORTATION - FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 EDITION.
 - D. BROWARD COUNTY "MINIMUM STANDARDS" APPLICABLE TO PUBLIC RIGHTS OF WAY UNDER BROWARD COUNTY JURISDICTION, OCTOBER 25, 2005 OR LATEST REVISION.

GENERAL SPECIFICATIONS

1. APPLICABLE CODES
 - A. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE PLANTATION ACRES IMPROVEMENT DISTRICT, AND ALL OTHER LOCAL, STATE, AND NATIONAL CODES WHERE APPLICABLE.
 - B. ALL PAVEMENT CROSSINGS WITHIN LIMITS OF PUBLIC RIGHTS OF WAY UNDER LOCAL JURISDICTION SHALL CONFORM WITH THE PUBLIC WORKS DEPARTMENT MINIMUM STANDARDS, LATEST EDITION. ALL CONSTRUCTION WITHIN LIMITS OF FLORIDA DEPARTMENT OF TRANSPORTATION SHALL CONFORM WITH F.D.O.T. DESIGN STANDARDS 2008.
 - C. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
 - D. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NATIONAL GEODETICAL VERTICAL DATUM OF 1929, (N.G.V.D.), UNLESS OTHERWISE NOTED.
2. PRECONSTRUCTION RESPONSIBILITIES
 - A. UPON THE RECEIPT OF THE "NOTICE TO PROCEED," THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
 - B. THE CONTRACTOR SHALL OBTAIN AN U.N.C.L.E. CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. PRIOR TO ANY CONSTRUCTION ACTIVITY, CALL 811.
 - C. ALL UTILITY EASEMENTS AND RIGHT-OF-WAY TO BE SECURED PRIOR TO CONSTRUCTION. (IF REQUIRED)
 - D. ALL APPLICABLE CONSTRUCTION PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
3. INSPECTIONS
 - A. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AND OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO THE BEGINNING CONSTRUCTION AND PRIOR TO THE FOLLOWING ITEMS, WHERE APPLICABLE:
 1. CLEARING AND FILLING
 2. STORM DRAINAGE SYSTEM
 3. ROADWAY RESTORATION
4. SHOP DRAWINGS
 - A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF PLANTATION. FOR THE FOLLOWING ITEMS: SANITARY MANHOLES, CATCH BASINS, FIRE HYDRANTS, VALVE AND ALL REQUIRED ACCESSORIES.
5. TEMPORARY FACILITIES
 - A. TEMPORARY FACILITIES:
 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY FOR NO ADDITIONAL COST TO THE OWNER FOR THEIR EMPLOYEES.
 - B. TRAFFIC REGULATION
 1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH M.U.T.C.D.
 2. ALL OPEN TRENCHES AND EXCAVATIONS ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

3. NO TRENCHES OR EXCAVATIONS NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF PLANTATION.
4. IF ROAD CLOSURES ARE REQUIRED, THE CONTRACTOR SHALL CONTACT THE LOCAL POLICE DEPARTMENT OFFICE TO COORDINATE THE APPROPRIATE ACTION.

C. MATERIAL AND EQUIPMENT STORAGE AREAS

1. THE CONTRACTOR SHALL SELECT THE SUITABLE LOCATION OF TEMPORARY STORAGE SITES.
2. PROOF OF PERMISSION FOR THE USE OF PRIVATE PROPERTY SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO THE START OF THE PROJECT.

6. PROJECT CLOSEOUT

- A. CLEANING UP:
 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THE END, THE CONTRACTOR SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
 3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN CLEAN AND NEAT CONDITION.
- B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- C. ALL UNPAVED SURFACES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- D. PROJECT RECORD DOCUMENTS
 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS. ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
 2. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.
 3. ALL "AS-BUILT" INFORMATION ON PLANS SHALL BE CERTIFIED BY A PROFESSIONAL SURVEYOR AND MAPPER REGISTERED IN THE STATE OF FLORIDA.

7. EARTHWORK AND COMPACTION

- A. ALL ORGANIC AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED UNDER THESE AREAS TO BE PAVED AND FOR THE FULL WIDTH OF THE RIGHT-OF-WAY.
- B. SUITABLE BACKFILL SHALL BE USED AND COMPACTED AS DIRECTED BY THE ENGINEER OF RECORD. ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED TO 98% STANDARD PROCTOR ON THIS PROJECT. TESTING SHALL BE VERIFIED BY TESTING COMPANY.

8. PAVING

- A. GENERAL:
 1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
 2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
 3. FOR ANY PROPOSED CONNECTIONS, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- B. MATERIAL:
 1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI COLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
 2. ASPHALT SURFACES SHALL BE S-3 ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS.

C. INSTALLATION:

1. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180). SHALL BE MIN. 12" THICKNESS, MIN. L.B.R. 40.
2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL HAVE A MINIMUM THICKNESS OF 8" PLACED ON A SINGLE LAYER FOR STREETS. (6 INCHES FOR DRIVEWAYS AND DESIGNATED PARKING AREAS).
3. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
4. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR ASPHALTIC CONCRETE.

D. TESTING:

1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS WHICH ARE TO BE PAID BY THE CONTRACTOR.

E. DRAINAGE SYSTEM:

1. ALL DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO A.S.T.M. C76-70 OR A.S.T.M. C-1450.
2. THE DRAINAGE SYSTEM HAS BEEN DESIGNED USING REINFORCED CONCRETE PIPE (R.C.P.). NO ALTERNATIVES WILL BE USED.
3. THE CONTRACTOR SHALL NOTIFY THE PLANTATION ACRES IMPROVEMENT DISTRICT 24 HOURS PRIOR TO CONSTRUCTION AT (954) 474-3092.

9. PAVEMENT MARKINGS

- A. PROVIDE AND INSTALL ALL NECESSARY PAVEMENT MARKINGS AND SIGNS IN ACCORDANCE WITH THE "MANUAL OF OPERATIONS STANDARDS," FLORIDA DEPARTMENT OF TRANSPORTATION, AND THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.), UNITED STATES DEPARTMENT OF TRANSPORTATION. ALL TRAFFIC SIGNS SHALL BE FULLY REFLECTORIZED.
- B. ALL PAVEMENT MARKINGS SHALL BE F.D.O.T. THERMOPLASTIC WITH RAISED REFLECTIVE MARKERS. PLEASE REFER TO PLANS.
- C. THE PAVEMENT MARKINGS (PAINT) SHALL BE APPLIED TO THE FIRST INCH OF ASPHALT WITHIN ONE CALENDAR DAYS AFTER THE APPLICATION OF THE ASPHALT.
- D. ALL SIGNS SHALL HAVE HIGH INTENSITY SHEETING.

MAINTENANCE OF TRAFFIC

REFER TO F.D.O.T. INDEX 600-670 (TRAFFIC CONTROL THROUGH WORK ZONES) FOR MAINTENANCE OF TRAFFIC.

TEMPORARY POLLUTION PREVENTION

REFER TO F.D.O.T. INDEX 102-103 FOR TEMPORARY POLLUTION PREVENTION SYSTEM DETAILS.

NO.	REVISIONS	DATE	NO.	REVISIONS	DATE

DESIGNED: BMP DATE: 01/2024
 DRAWN: AMF DATE: 01/2024
 CHECKED: BMP DATE: 01/2024

WINNINGHAM & FRADLEY
 ENGINEERS • PLANNERS • SURVEYORS
 111 N.E. 44th STREET • OAKLAND PARK, FL 33334
 954.771.7440 fax: 954.771.0288 • E.B.L. 0002986 • www.winfrad.com

NW 12th STREET & NW 122nd AVENUE IMPROVEMENTS
 PLANTATION ACRES IMPROVEMENT DISTRICT

GENERAL NOTES & SPECIFICATIONS

PUBLISHED: 1/18/2024, 4:08:42 PM	PROJECT NUMBER	SHEET
D2308.05	GN1	OF 1



\\P:\AD\Projects\10\2023\0230825-NW 12th St & NW 122nd Ave Improvements\CAD\CIP\GENERAL NOTES.dwg

CONTRACTOR'S REQUIREMENTS

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN IN ADDITION TO THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANT TO RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALE/DIKES AND SEDIMENT BASIN.
4. CONSTRUCT SEDIMENTATION BASIN.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCK PILE TOP SOIL IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENIED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS
10. APPLY BASE TO PROJECT.
11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
12. REMOVE ACCUMULATED SEDIMENT FROM BASINS.
13. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALE/DIKES AND RESEED/SOD AS REQUIRED.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE LEATH Dikes/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SPECIFIED IN THE EROSION AND TURBIDITY CONTROL NOTES. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS AS SPECIFIED IN THE EROSION AND TURBIDITY CONTROL NOTES AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROL

1. INSTALL TURBIDITY SCREENS IN LAKE AS INDICATED. PER SFJ.WQD. CRITERIA.
2. INSTALL ADDITIONAL SILT FENCE/WINDSCREEN AS NEEDED TO REDUCE WINDBLOWN EROSION.
3. PROVIDE MINIMUM 6" DEEP SWALE AROUND SITE PERIMETER TO CONTAIN SOIL EROSION ON-SITE. REGRADE SWALE DURING CONSTRUCTION AS REQUIRED TO MAINTAIN 6" SWALE.
4. CONSTRUCT A TEMPORARY MINIMUM 6" DEEP REVERSE BERM ALONG THE TOP OF LAKE BANK TO CONTAIN SURFACE WATER RUNOFF FROM ERODING THE LAKE BANK.
5. PROVIDE TEMPORARY CONSTRUCTION ACCESS ROAD WITH COMPACTED LIMEROCK AS SOON AS PRACTICAL.
6. PROVIDE FILTER FABRIC ON ALL DRAINAGE CATCH BASIN INLETS UNTIL FINAL LANDSCAPING IS IN PLACE.
7. TURBIDITY SCREENS SHALL NOT BE REMOVED UNTIL ALL AREAS AROUND INLETS HAVE BEEN GRADED & SODDED AND THE LAKE HAS MET STATE TURBIDITY STANDARDS
8. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ANY INTENSE RAINFALL OF GREATER THAN 0.5" AND REPAIR AS NECESSARY.

EROSION AND SEDIMENT CONTROL STABILIZATION PRACTICES

1. HAY BALE BARRIERS: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
 - D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE.
 - E. BARRIERS IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT, IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
4. LEVEL SPREADER/A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY TO THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREA WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
8. TEMPORARY SEEDING AREAS: OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDING AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
10. TEMPORARY GRASSING: THE SEEDING OR SEEDING AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING IN THE CONTRACT SPECIFICATIONS.
11. TEMPORARY REGASSING: IF AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSING AREAS HAVE NOT ATTAINED A MINIMUM OF 15 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE GOOD VEGETATIVE COVER.
12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
13. PERMANENT EROSION CONTROL: THE CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.
14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL AS A MINIMUM BE SEEDING THE SEEDING MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDING AND MULCHED OR SODDED.

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKES: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE.
 - A. BLOCK & GRAVEL SEDIMENT FILTER: THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
 - B. GRAVEL SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCORPORATION OR DAMAGE TO ADJACENT STRUCTURE & UNPROTECTED AREAS.
 - C. DROP INLET SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAWS A RELATIVELY FLAT AREA (3:1) AND WHERE SHEET OR OVERLAND FLOW (1:0.5) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.
3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEMS TO THE RECEIVING WATER BODY. SILT FENCES AND HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASIN MUST PROVIDE A MINIMUM OF 3600 CUBIC FEET OF STORAGE PER ACRE DRAINAGE UNTIL FINAL STABILIZATION OF THE SITE. THE 3600 CUBIC FEET OF STORAGE AREA PER DRAINAGE DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. A TEMPORARY SEDIMENT BASIN CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LINED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. THE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD/DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE WILL BE COVERED WITH A TARP/PAULI. (SEE DETAILS THIS SHEET)

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON-SITE DURING CONSTRUCTION:

- CONCRETE
- ASPHALT
- TAR
- DETERGENTS
- FERTILIZER
- WOOD
- PETROLEUM BASED PRODUCTS
- MASONRY BLOCKS
- CLEANING SOLVENTS
- PAINTS
- ROOFING MATERIALS
- METAL STUDS
-
-
-

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PERIOD.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON-SITE WILL BE IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND/OR POSSIBLE UNDER A ROOF OR OTHER ENCLOSURE.

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USE TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED IF THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

IF SURPLUS PRODUCT MUST BE DISPOSED OF BY MANUFACTURER'S OR LOCAL AGENCY RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC WILL BE FOLLOWED ON-SITE:

PETROLEUM PRODUCTS

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL BE INCLUDED BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (1/4 KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL/WHAT CAUSED IT AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ON-SITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 10 ACRES OF THE SITE WILL BE DENIED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPROVED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT FENCE POSTS ARE FIRMLY IN THE GROUND.

THE SEDIMENT BASIN WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST. OVERSTOCK DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A REPORT SHALL BE COMPLETED BY HIS/HER INSPECTOR OR ENGINEER OF RECORD.

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS.

THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

WATER FROM WATER LINE FLUSHING

PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

UNCONTAMINATED GROUND WATER (FROM DEWATERING EXCAVATION).

CONTRACTOR'S CERTIFICATION

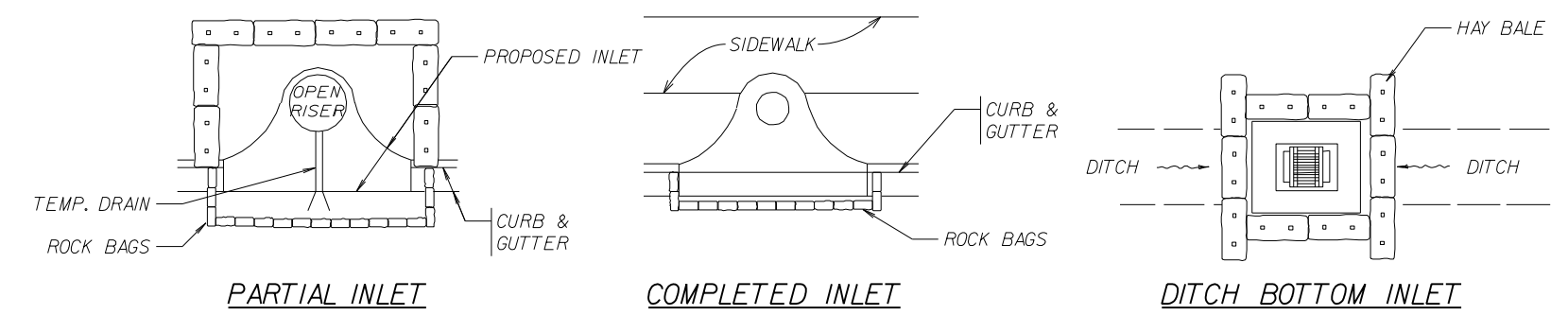
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

NOTES FOR SILT FENCES

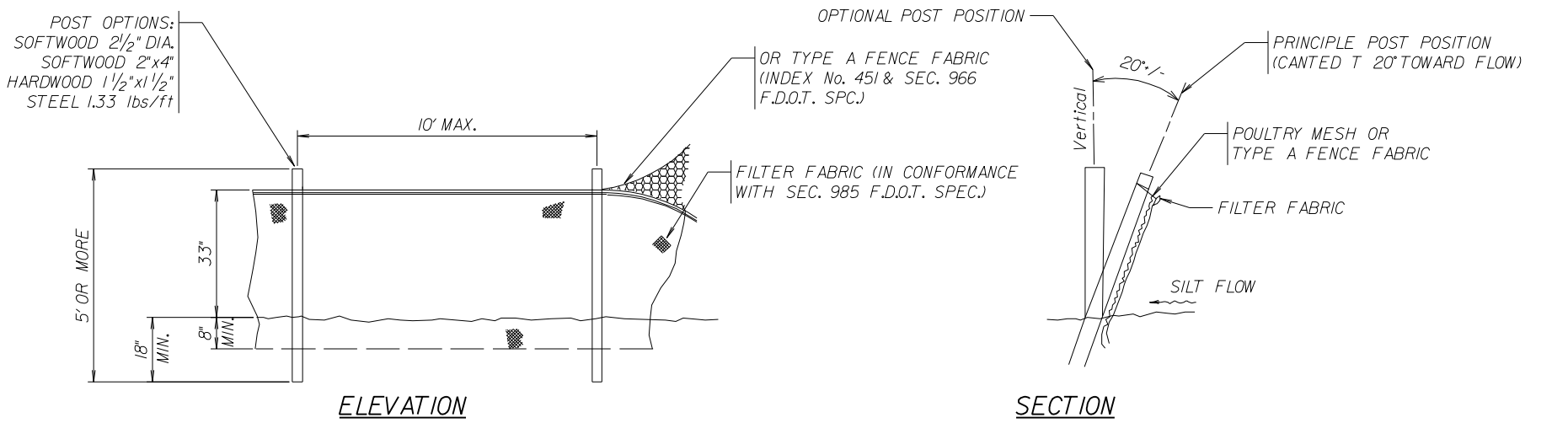
1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1.
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 12:1 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON OR LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
5. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, (E.P.).

NOTES FOR BALED HAY OR STRAW BARRIERS

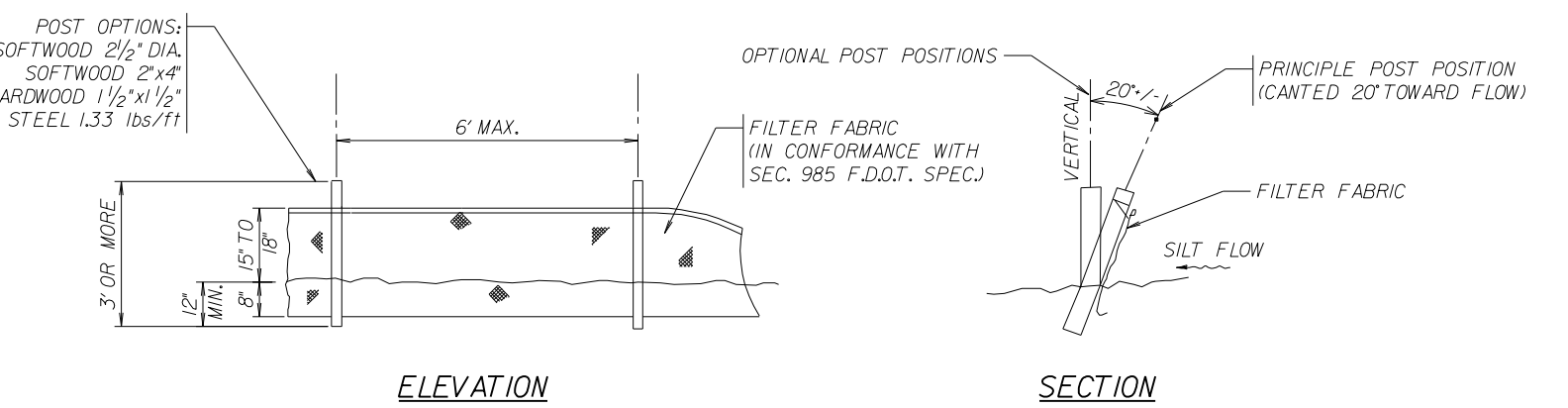
1. TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH CHART 1.
2. HAY BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2" X 12" OR 1" X 14" 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
3. RAILS AND POSTS SHALL BE 2" X 4" WOOD, OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
4. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
5. WHERE USED IN CONJUNCTION WITH SILT FENCE, HAY BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.
6. BALES TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW, E.A. THE UNIT PRICE SHALL INCLUDE THE COST OF FILTER FABRIC FOR TYPE I AND II BARRIERS. SAND BAGS SHALL BE PAID FOR UNDER THE UNIT PRICE FOR SANDBAGGING. CY. ROCK BAGS TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ROCK BAGS, E.A.



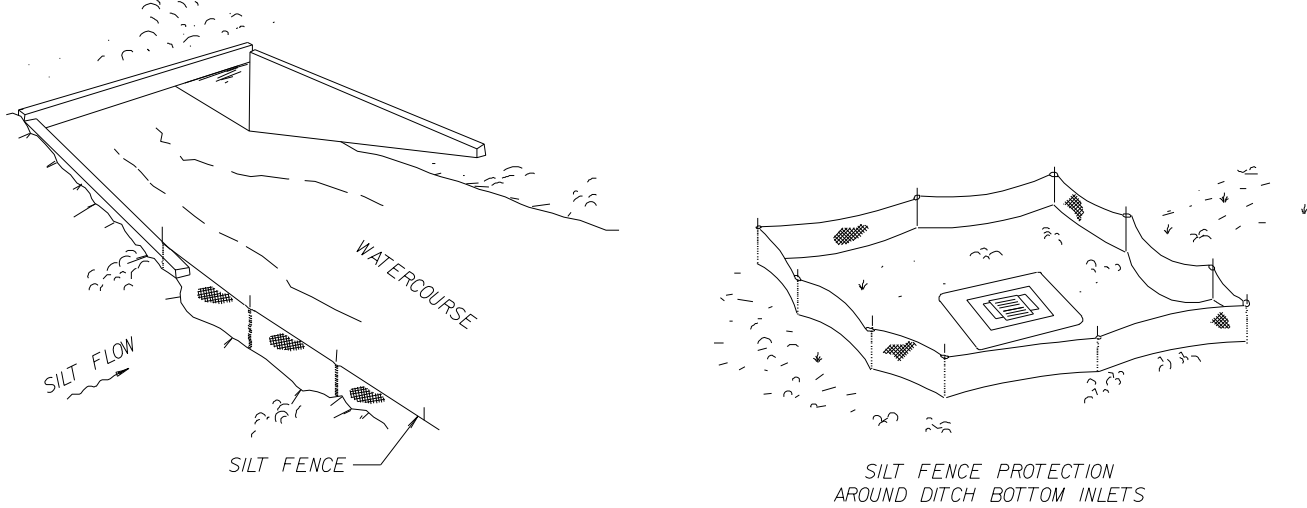
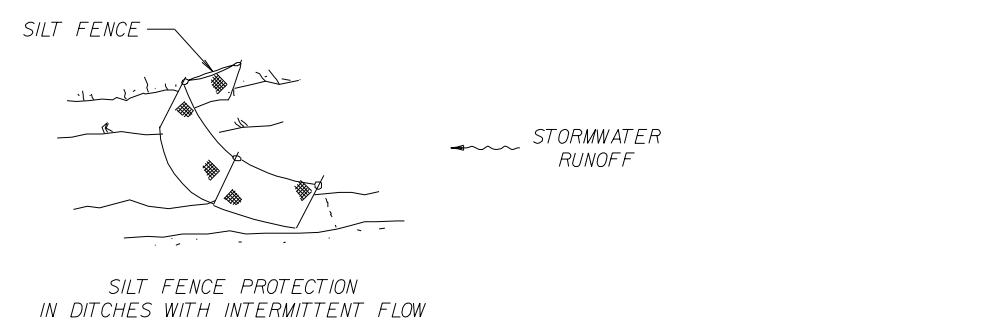
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



TYPE IV SILT FENCE



TYPE III SILT FENCE



SILT FENCE APPLICATIONS



Know what's below.
Call before you dig.



NO.	REVISIONS	DATE	NO.	REVISIONS	DATE

DESIGNED:	BMP	DATE:	01/20/24
DRAWN:	AMF	DATE:	01/20/24
CHECKED:	BMP	DATE:	01/20/24



NW 12th STREET & NW 122nd AVENUE IMPROVEMENTS
PLANTATION ACRES IMPROVEMENT DISTRICT

TEMPORARY POLLUTION PREVENTION
GENERAL NOTES & DETAILS

PUBLISHED:	1/17/2024, 10:59:28 AM
PROJECT NUMBER	D2308.05
SHEET	TPP1 OF 1

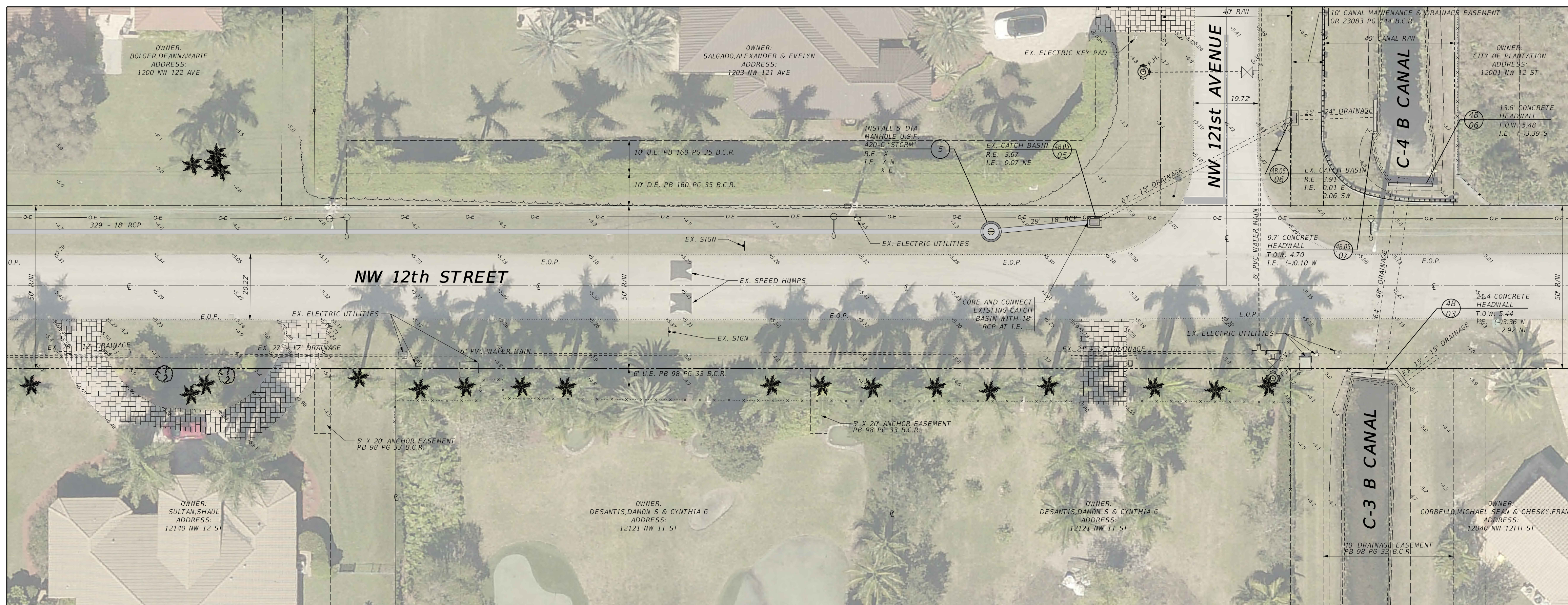


MATCH-LINE

LEGEND			
	PROPOSED PIPE		EXISTING TREE
	DRAINAGE EASEMENT		EXISTING PALM
	ROAD R/W		VEGETATION LINE
	CENTER LINE R/W		TYPICAL HEDGE
	EXISTING WATER MAIN		PROPOSED MANHOLE
	EXISTING FENCE		WATER METER
	PROPERTY LINE		POWER POLE WITH LIGHT
	EDGE OF WATER		POWER POLE
	CONTOUR LINE		PROPOSED INLET
	DRIVEWAY/PAVEMENT		EXISTING INLET
	OVERHEAD ELECTRIC		PROPOSED END SECTION
	BURIED TELEPHONE		EXISTING END SECTION
	DRAINAGE STRUCTURE I.D.		EXISTING ELECTRIC HAND HOLE
	DRAINAGE ELEVATION		EXISTING SIGN
	PROPOSED GRADE		EXISTING LIGHT POLE
	MATCH EXISTING GRADE		EXISTING SEWER
			PROPOSED MANHOLE
			WATER METER
			POWER POLE WITH LIGHT
			POWER POLE
			PROPERTY LINE
			CENTER LINE
			REMOVE LANDSCAPING
			REMOVE FENCE

ABBREVIATIONS			
B.T.	BURIED TELEPHONE	P.A.I.D.	PLANTATION ACRES
C.L.	CENTER LINE	P.I.	IMPROVEMENT DISTRICT
C.L.	CHAIN LINK	P.B.	PLAT BOOK
D.E.	DRAINAGE EASEMENT	P.P.	POWER POLE
D.W.E.	DESIGN WATER ELEVATION	P.P.W.L.	POWER POLE WITH LIGHT
E.O.P.	EDGE OF PAVEMENT	PROP.	PROPOSED
E.O.W.	EDGE OF WATER	R.C.P.	REINFORCED CONCRETE PIPE
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	R.E.	RIM ELEVATION
I.E.	INVERT ELEVATION	R/W	RIGHT-OF-WAY
W.M.	WATER METER	S.H.	SPRINKLER HEAD
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	T.O.W.	TOP OF WALL
D.E.	OVERHEAD ELECTRIC	TYP.	TYPICAL
D.R.B.	OFFICIAL RECORDS BOOK	U.E.	UTILITY EASEMENT
		USF	U.S. FOUNDRY
		W.M.	WATER MAIN

- NOTES:**
- CONTRACTOR TO NOTIFY UTILITY COMPANIES PRIOR TO DRAINAGE SYSTEM INSTALLATIONS. UNDERGROUND UTILITIES TO INCLUDE FLORIDA POWER AND LIGHT, BELLSOUTH (AT&T), COMCAST CABLE AND PLANTATION UTILITIES.
 - PIPE LENGTHS SHOWN ARE COMPUTED TO THE CENTER OF THE INLET/MANHOLE.
 - MINOR ADJUSTMENTS SHOULD BE MADE TO THE LOCATION OF NEW DRAINAGE TO AVOID CONFLICTS. WITH THE APPROVAL OF THE ENGINEER.
 - CONTRACTOR TO PROVIDE A MAINTENANCE OF TRAFFIC (MOT) PLAN.
 - CONTRACTOR TO CONTACT THE CITY OF PLANTATION PUBLIC WORKS DEPARTMENT TO COORDINATE MINIMUM DISRUPTIONS TO THE GARBAGE COLLECTION SERVICE.
 - PRIOR TO EXCAVATION, CONTRACTOR SHALL RUN THE PRIVATE IRRIGATION SYSTEMS AND RECORD THE LOCATION OF ALL SPRINKLER HEADS FOR PROPER RESTORATION.
 - WATER SERVICE LINES IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED, REPLACED, AND/OR RELOCATED AS REQUIRED WITHOUT PROLONGED INTERRUPTION OF SERVICE. NO NEW TAPS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM PLANTATION UTILITIES DEPARTMENT.
 - COORDINATE FENCE RELOCATION WITH DISTRICT STAFF NO LESS THAN 3 WEEKS PRIOR SCHEDULED CONSTRUCTION.
 - ANY TREES, BUSHES AND SHRUBS IN THE IMMEDIATE VICINITY OF THE EXCAVATION FOR THE DRAINAGE WORKS SHALL BE REMOVED TO GROUND LEVEL BY THE DISTRICT STAFF.
 - ALL ROOTS, ROOT BALLS, OR STUMPS IMPACTING THE EXCAVATION FOR THE DRAINAGE WORKS SHALL BE REMOVED BY THE CONTRACTOR, AS REQUIRED.

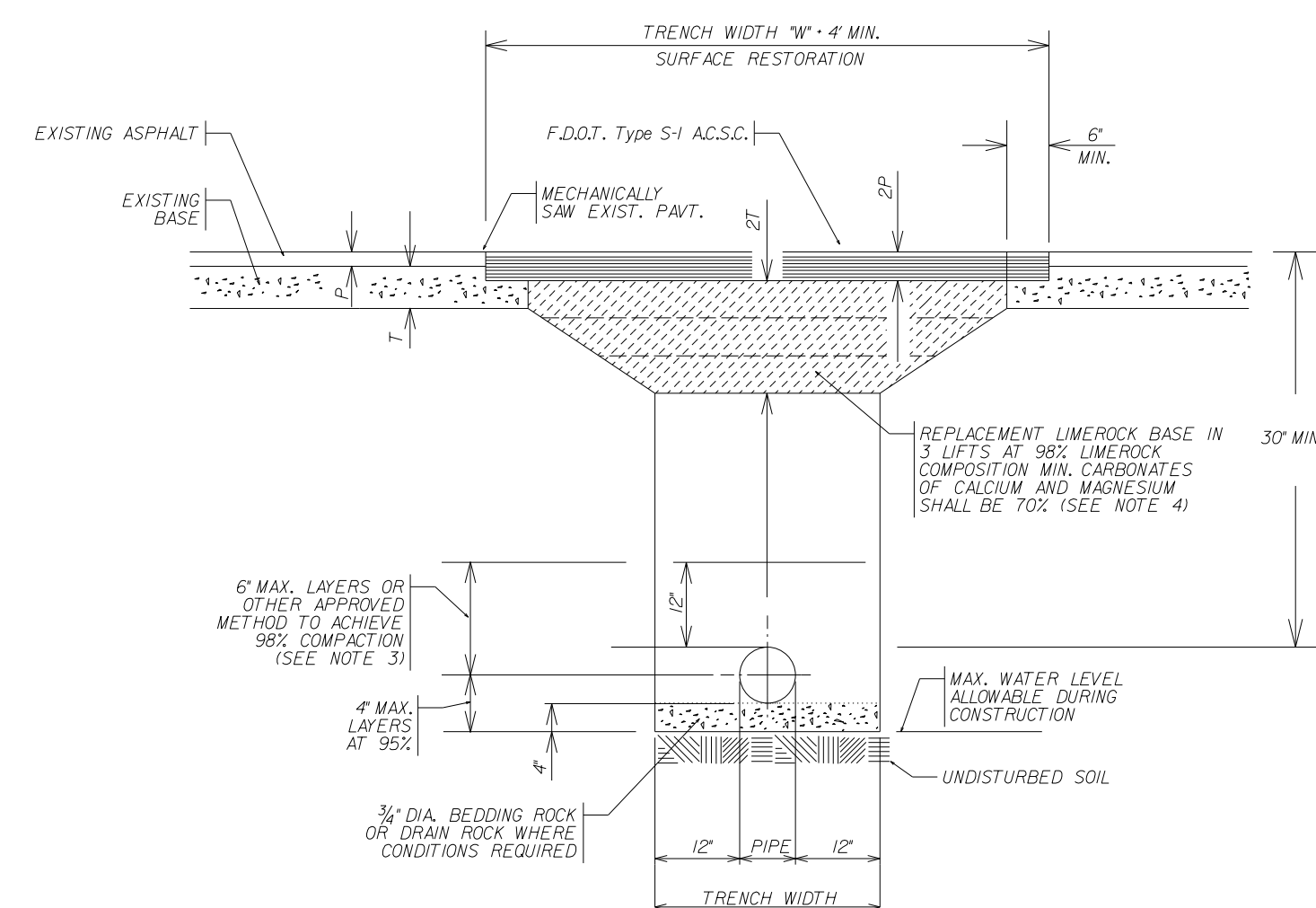


MATCH-LINE



Know what's below.
Call before you dig.





- NOTES:
- WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
 - SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
 - BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM LAYERS AND EACH LAYER THOROUGHLY COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-99.
 - BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
 - SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM LBR OF 40.
 - SURFACE MATERIAL SHALL BE F.D.O.T. TYPE 51 AC.S.C.
 - SURFACE PAVEMENT JOINTS SHALL BE BUTT JOINT.
 - CUTS ACROSS ROADS SHALL NOT BE LEFT OPEN OVER NIGHT UNLESS ABSOLUTELY NECESSARY. TRENCHES SHALL BE BACKFILLED AND TEMPORARY ASPHALT APPLIED TO MAKE A SMOOTH LEVEL PATCH. THE TRENCHES SHALL THEN BE EXCAVATED THE NEXT DAY AND PERMANENT BACKFILL AND PAVEMENT INSTALLED IN ACCORDANCE WITH THESE STANDARDS.
 - DENSITY TESTS OF COMPACTED FILL, BACKFILL AND/OR BASE SHALL BE TAKEN AT EACH 6" LIFT, PRIOR TO PLACEMENT OF THE SUCCEEDING LIFT OF MATERIAL ACCORDING TO THE FOLLOWING SCHEDULE:
 - FOR ANY ROAD CROSSING IN WHICH THE ROAD IS CUT AND RESTORED ONE LANE AT A TIME, ONE DENSITY TEST SHALL BE TAKEN IN EACH LANE AT EACH 6" LIFT.
 - FOR ANY ROAD CROSSING IN WHICH THE ROAD IS CUT AND RESTORED TWO LANES AT A TIME, DENSITIES SHALL BE TESTED IN ONE LANE PER LIFT, ALTERNATING LANES WITH EACH LIFT.
 - THE CONTRACTOR SHALL FURNISH A BOND IN AN AMOUNT ACCEPTABLE TO THE CITY ENGINEER TO GUARANTEE COMPLETION OF WORK WITHIN THE APPROVED TIMEFRAME.
 - ALL PROCTOR AND FIELD DENSITY TESTS SHALL BE PERFORMED BY A CERTIFIED TESTING LABORATORY APPROVED BY THE CITY AND A COPY OF ALL TEST SHALL BE FURNISHED TO THE ENGINEERING DEPARTMENT.

NOTE: THE ABOVE LISTED REPRESENTS THE MINIMUM PROCEDURE. THE INSPECTOR MAY REQUIRE ADDITIONAL TESTING IF, IN HIS/HER OPINION, CONDITIONS OR PRIOR TEST RESULTS WARRANT THEM.

(PAVED AREAS)
TRENCH DETAIL

GENERAL NOTES:
SPECIFIED TREE ROOT BARRIERS ARE A MECHANICAL BARRIER AND ROOT DEFLECTOR TO PREVENT TREE ROOTS FROM DAMAGING HARDSCAPES AND LANDSCAPES. ASSIGNED IN 2' LONG MODULES TO CREATE VARYING SIZES OF CYLINDERS FOR SURROUNDING ROOT BALLS (SURROUND PLANTING STYLE) OR FOR LINEAR APPLICATIONS DIRECTLY BESIDE A HARDSCAPE ADJACENT TO ONE SIDE OF THE TREES (LINEAR PLANTING STYLE).

A. MATERIALS:
1. THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIERS AS SPECIFIED. THE TREE ROOT BARRIERS SHALL BE PRODUCT # UB 24-2 AS MANUFACTURED BY DEEP ROOT PARTNERS, L.P., 345 LORTON AVE., #03, BURLINGAME, CA 94010-1608. APPROVED EQUAL.
THE BARRIER SHALL BE BLACK INJECTION MOLDED PANELS OF 0.085" WALL THICKNESS IN MODULES 24" LONG BY 24" DEEP. MANUFACTURED WITH A MINIMUM 50% POST CONSUMER RECYCLED POLYPROPYLENE PLASTIC WITH ADDED ULTRAVIOLET INHIBITORS. RECYCLABLE. EACH PANEL SHALL HAVE:

NOT LESS THAN 4 MOLDED INTEGRAL VERTICAL ROOT DEFLECTING RIBS OF AT LEAST 0.085" THICKNESS PROTRUDING 1/2" AT 90° FROM INTERIOR OF THE BARRIER PANELS, SPACED 6" APART. (SEE PANEL DRAWING BELOW)

A DOUBLE TOP EDGE CONSISTING OF TWO PARALLEL INTEGRAL HORIZONTAL RIBS AT THE TOP OF THE PANEL OF A MINIMUM 0.085" THICKNESS, 7/8" WIDE AND 1/4" APART WITH THE LOWER RIB ATTACHED TO THE VERTICAL ROOT DEFLECTING RIBS. (SEE DETAIL 'A')

A MINIMUM OF 9 ANTI-LIFT GROUND LOCK TABS CONSISTING OF INTEGRAL HORIZONTAL RIDGES OF A MINIMUM 0.085" THICKNESS IN THE SHAPE OF A SEGMENT OF A CIRCLE, THE 2" CHORD OF THE SEGMENT JOINING THE PANEL WALL AND THE SEGMENT, PROTRUDING 3/8" FROM THE PANEL. THE NINE GROUND LOCKS ON EACH PANEL SHALL BE ABOUT EQUALLY SPACED BETWEEN EACH OF THE VERTICAL ROOT DEFLECTING RIBS (3 BETWEEN EACH SET OF RIBS. SEE DETAIL 'B')

AN INTEGRATED ZIPPER JOINING SYSTEM PROVIDING FOR INSTANT ASSEMBLY BY SLIDING ONE PANEL INTO ANOTHER. (SEE DETAIL 'C')

2. THE BASIC PROPERTIES OF THE MATERIAL SHALL BE:

TEST	ASTM TEST METHOD	VALUE	COMPLIANCE
TENSILE STRESS @ YIELD	D638	3800 PSI	POLYPROPYLENE
ELONGATION @ YIELD	D638	6.3%	
FLEXURAL MODULUS	D790B	15,000 PSI	
NOTCHED IZOD IMPACT	D256A	7J	
ROCKWELL HARDNESS R, SCALE D, R50A		68	

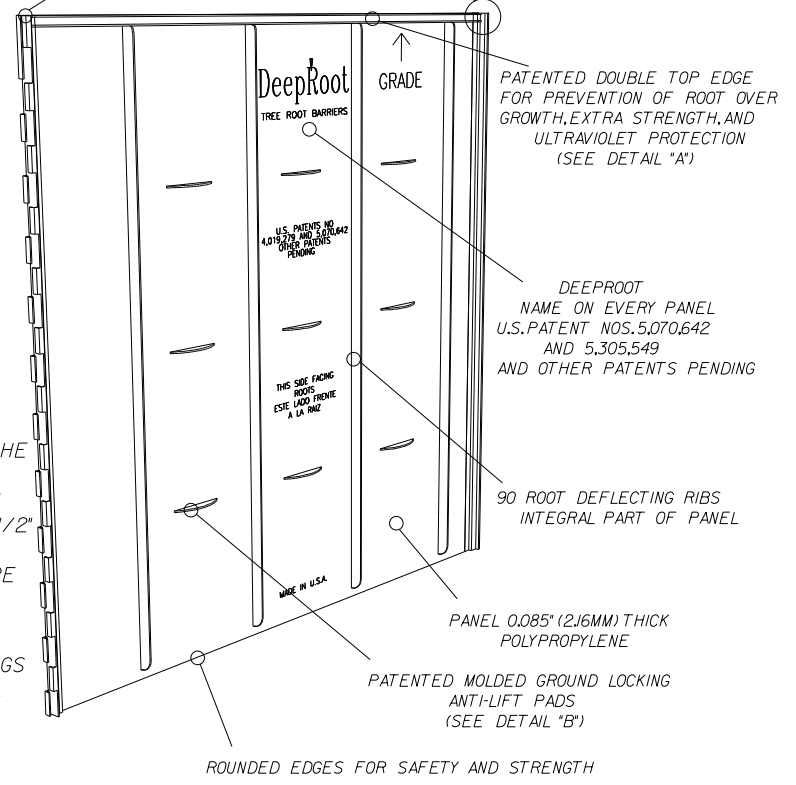
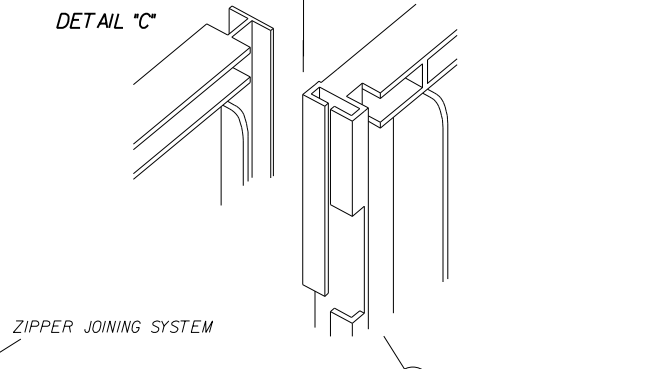
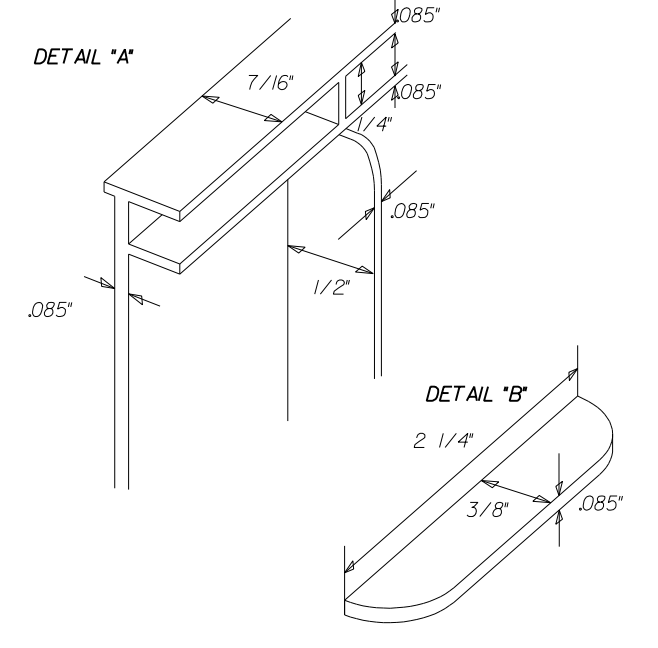
U.S. PATENTS: 5,305,549 AND 5,070,642. OTHER PATENTS PENDING.

B. CONSTRUCTION AND INSTALLATION:

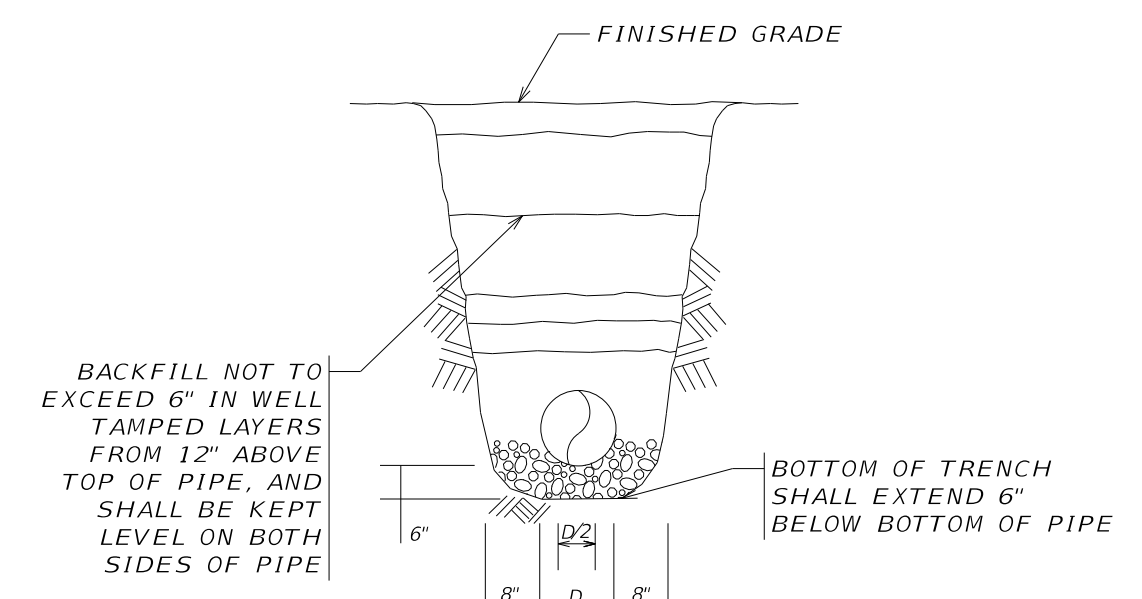
1. THE CONTRACTOR SHALL INSTALL THE TREE ROOT BARRIERS WITH THE NUMBER OF PANELS AND IN THE MANNER SHOWN ON THE DRAWINGS. THE VERTICAL ROOT DEFLECTING RIBS SHALL BE FACING INWARDS TO THE ROOT BALL AND THE TOP OF THE DOUBLE EDGE SHALL BE 1/2" ABOVE GRADE. EACH OF THE REQUIRED NUMBER OF PANELS SHALL BE CONNECTED TO FORM A CIRCLE AROUND THE ROOT BALL OR WHERE SPECIFIED JOINED IN A LINEAR FASHION AND PLACED ALONG THE ADJACENT HARDSCAPE.

2. EXCAVATION AND SOIL PREPARATION SHALL CONFORM TO THE DRAWINGS.

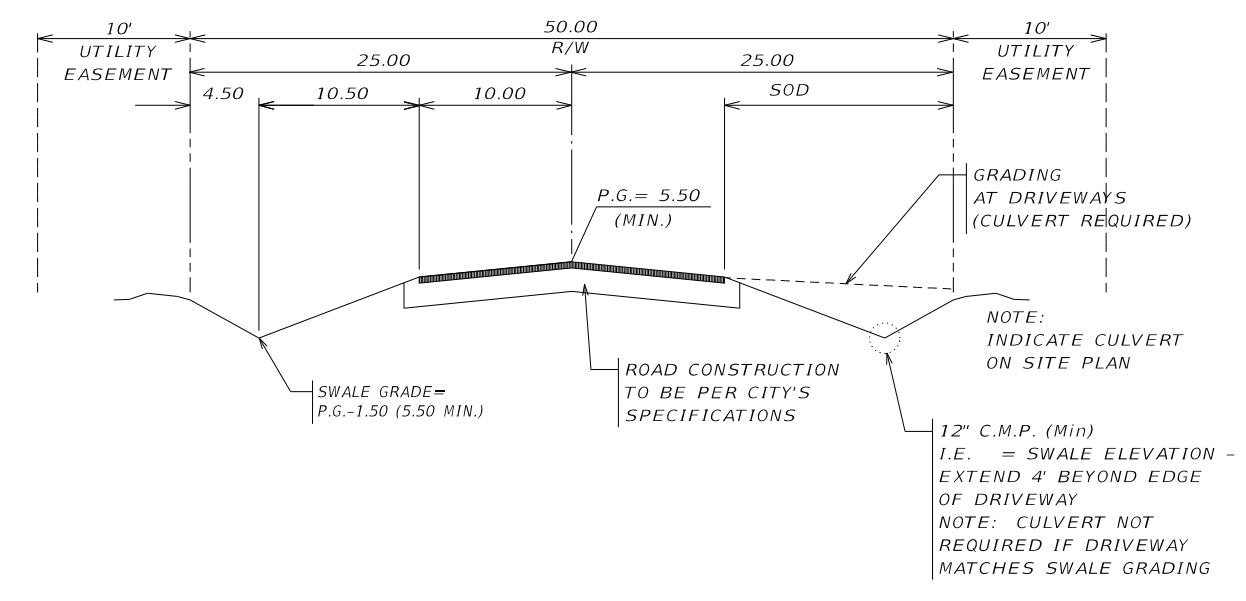
3. THE TREE ROOT BARRIERS SHALL BE BACKFILLED ON THE OUTSIDE WITH 3/4" TO 1 1/2" GRAVEL OR CRUSHED ROCK AS SHOWN ON THE DRAWINGS. NO GRAVEL BACKFILL IS REQUIRED FOR A LINEAR PLANTING.



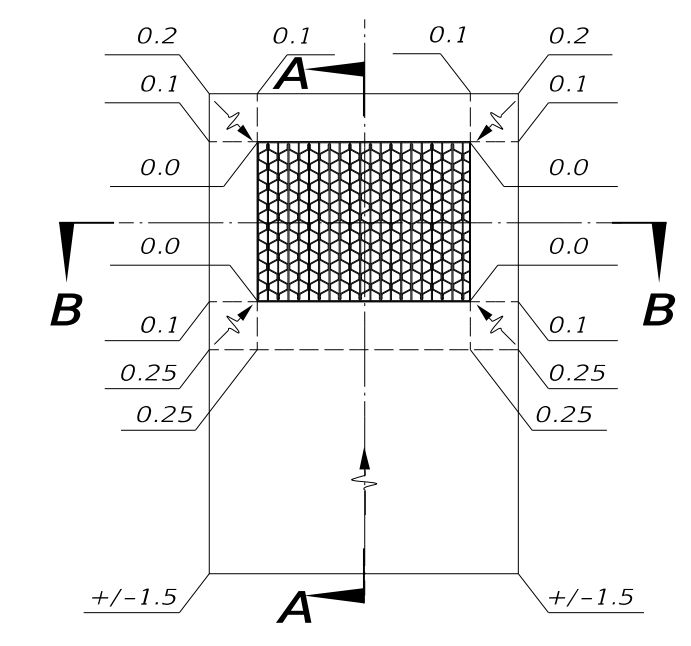
24" DEEPROOT TREE ROOT BARRIERS



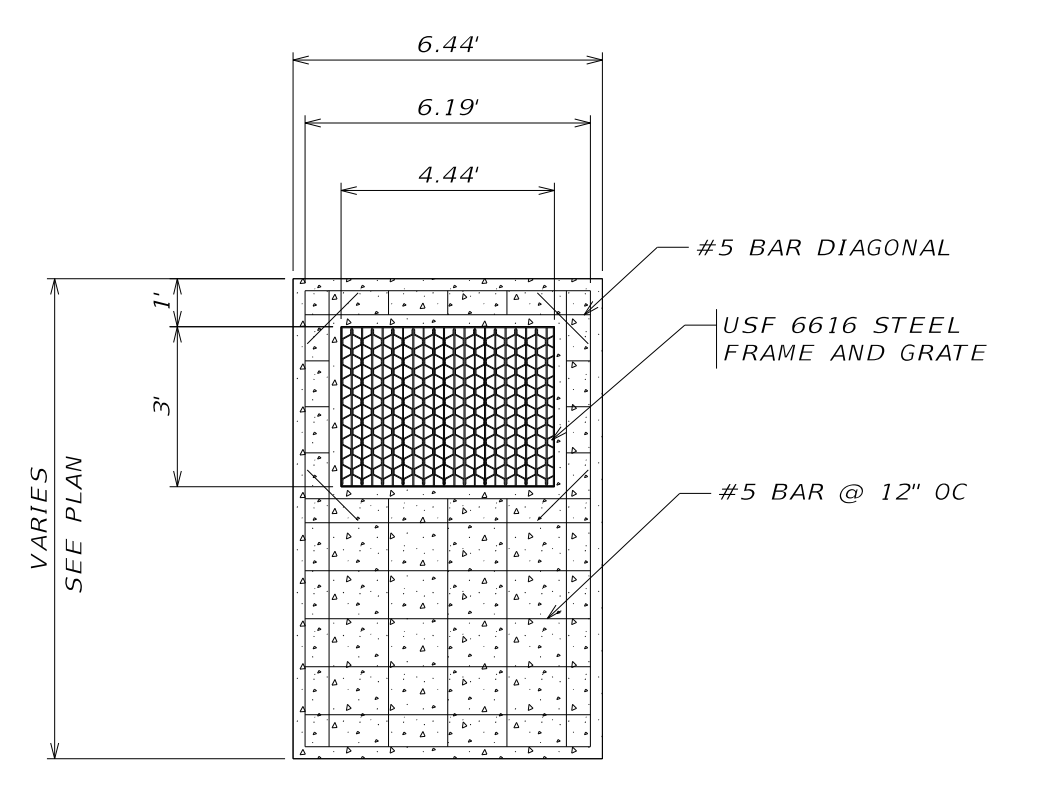
PIPE BEDDING DETAIL



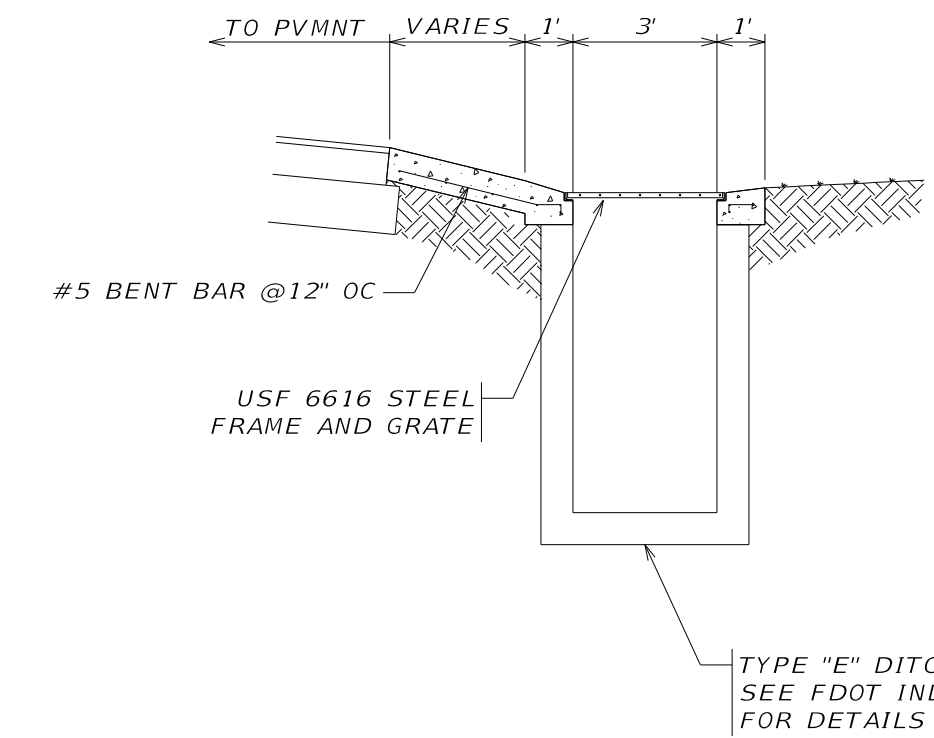
TYPICAL ROADWAY SECTION



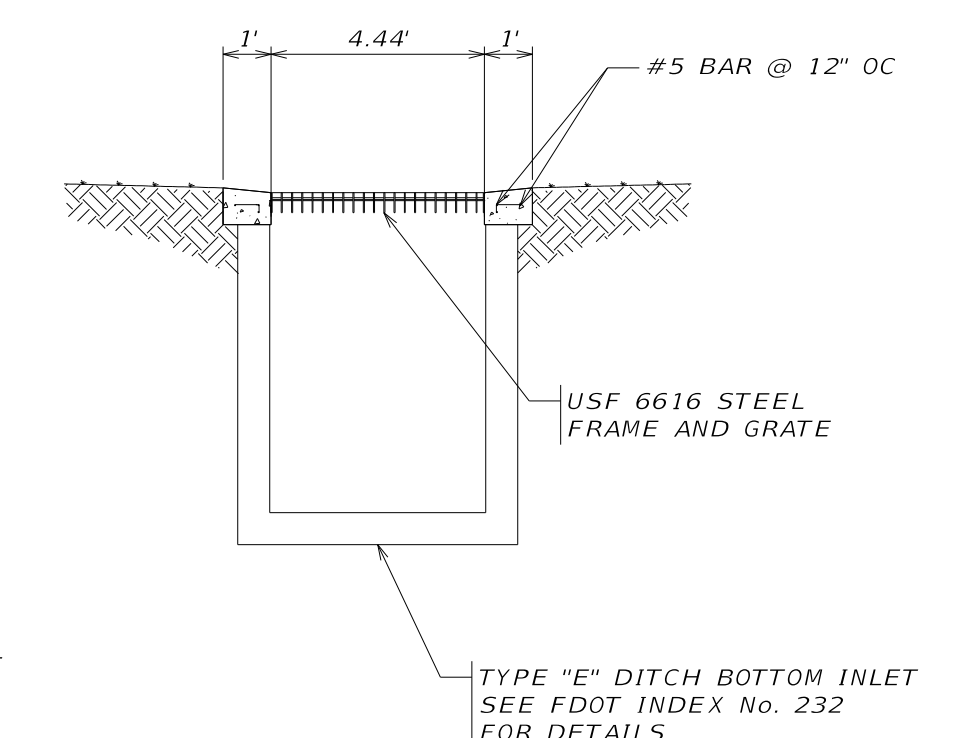
SECTION A



SECTION B



CONCRETE APRON DETAIL



Know what's below.
Call before you dig.



ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D6

Action Required: Update

Item Description: PAID Master Drainage Improvements

P.A.I.D. Number: D2301.01

Attachments: None

Summary: The projects below are in progress:

- NW 118th Ave. Drainage Improvements - C2-C4 Canal (D2308.04-1)
- SW 3rd St & SW 122nd Ave Drainage Improvements (D2308.06)

The construction plans for the above were approved last month by the Board. Legal work is currently in progress by District Counsel. It is expected to receive the title work back in the next 2-3 weeks.

Recommendation: N/A

Comments: _____

Prepared by: BMP Date: 01/18/24

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D7

Action Required: Discussion

Item Description: Permit Activity Summary

P.A.I.D. Number: D9408.02 & D9408.03

Attachments: None

Summary: Approved Building Permits

<u>No.</u>	<u>Name</u>	<u>Address</u>	<u>PAID No.</u>
1.	Fraser (Foundation Repair)	11400 NW 19 th Street	B0611.03
2.	Gatto (Pergola & Deck)	113 NW 117 th Avenue	B0204.11
3.	Yocom (Fence)	11601 NW 20 th Street	B8803.17
4.	Hernandez (Fence)	2170 NW 123 rd Avenue	B0601.04
5.	Gonzalez (Fence)	11420 NW 27 th Court	B8705.02
6.	Savage (Fence)	11811 NW 24 th Street	B9101.02
7.	Johnson (Driveway)	11230 NW 27 th Street	B0402.05
8.	Crafted Homes LLC (Pool)	12231 SW 2 nd Street	B2305.01
9.	Crazover (Fence)	11707 NW 8 th Street	B9402.07
10.	Mosquera (Gates)	11901 NW 18 th Court	B1803.03
11.	Kateliava (Driveway)	561 S. Old Hiatus Road	B0505.04
12.	Chrysler (Generator)	11701 NW 16 th Court	B1511.01
13.	Caro (Pool)	11201 NW 15 th Street	B9703.01
14.	Jin (Fence)	1101 NW 115 th Avenue	B9703.01
15.	Manning (Deck & Concrete Slab)	11551 SW 3 rd Street	B0610.05
16.	Rodriguez (Fence)	12301 NW 18 th Street	B0001.03
17.	Gol (Guest House & Gazebo)	900 NW 122 nd Avenue	B9408.24
18.	Smart Homeowners Assoc.(Fence/Lights)	12380/12360/12340/12320/12300 NW 15 th Street	C0307.01

Summary: Certificates of Occupancy

1.	DSL Construction & Investments LLC (House)	11751 NW 6 th Place	B2111.03
----	--	--------------------------------	----------

Prepared by: CJF Date: 1/18/2024

J:\PAID\Projects (D)\1994\ID9408.02-Approved Building Permits\WPLD9408.02 STAFF REPORT 2024-1-25.wpd

ENGINEER'S STAFF REPORT
FOR January 25, 2024 MEETING
AGENDA ITEM No.: D8

Action Required: Discussion

Item Description: Notices of Violation
Summary

P.A.I.D. Number: D9611.01

Attachments: None

Summary: The following is a summary of the existing violations.

Name	Address	Violation	Status
GENDLER (V2209.03)	11400 NW 26 TH STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	FINAL NOTICE
OCAMPO (V2209.04)	11350 NW 26 TH STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	FINAL NOTICE
DESANTIS (V2301.01)	12121 NW 11 TH STREET	LANDSCAPE IN CANAL EASEMENT	NOTIFIED
SHAH (V2302.02)	12121 NW 5 TH COURT	LANDSCAPE / PLANTING IN CANAL EASEMENT	FINAL NOTICE
MARTIN (V2306.02)	11350 NW 8 TH STREET	CONSTRUCTION WITHOUT PERMIT	IN PROCESS OF COMPLYING
NARA (V2308.01)	1101 NW 122 ND AVENUE	LANDSCAPE IN DRAINAGE EASEMENT	IN PROCESS OF COMPLYING
LAKHANI (V2309.01)	11251 NW 14 TH STREET	FILL WITHOUT PERMIT	IN PROCESS OF COMPLYING
SAVAGE (V2309.02)	11811 NW 24 TH STREET	FILL WITHOUT PERMIT	COMPLIED
RAMRATTAN (V2309.03)	11741 NW 11 TH STREET	FILL WITHOUT PERMIT	IN PROCESS OF COMPLYING
BUCCHUS (V2309.04)	1460 NW 114 TH AVENUE	CONSTRUCTION WITHOUT PERMIT	IN PROCESS OF COMPLYING
WEHBY (V2309.06)	2800 NW 120 TH AVENUE	CONSTRUCTION WITHOUT PERMIT	IN PROCESS OF COMPLYING
WILKINS (V2312.01)	11501 NW 26 TH STREET	FILL WITHOUT PERMIT	IN PROCESS OF COMPLYING
CONNERS / BURSEY (V0409.02)	11620 NW 6 TH STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	COMPLIED
MOSQUERA (V2311.01)	11901 NW 18 TH COURT	CONSTRUCTION WITHOUT PERMIT	IN PROCESS OF COMPLYING
FRANCO (V2312.02)	11300 SW 1 ST STREET	CONSTRUCTION WITHOUT PERMIT	IN PROCESS OF COMPLYING